



PLANNING
& LOGISTICS

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Our Ref: FLOR140
Your Ref: A13749
Enquiries: Kathryn Jackson

4 July 2018

City of Greater Geraldton
Urban & Regional Development Branch
PO Box 1
GERALDTON WA 6531

Attention: Planning Services

Dear Sir / Madam

REMOVAL OF HERITAGE LISTED PLACE – 140 FLORES ROAD, WEBBERTON

WA Planning & Logistics thanks you for the opportunity to provide the necessary documentation to accompany an application for the removal of a heritage listed building upon 140 Flores Road, Webberton.

This is not a decision that has come lightly for the landowner having lived in the building from 2007-2011 as their primary residence and shop/ office to their business 'Sun City Solar'. They had anticipated on being able to utilise this building long term upon the site for caretaking and business purposes.

By 2011 however, it was apparent that the works they had undertaken to restore the building (rendering, painting, reinforcing of walls, new facilities) were not enough to hold back the deterioration of the building. The deterioration was largely based on issues that related to the insufficient quality of the original building materials used. The building was subsequently abandoned and stripped when mortar, blocks and plaster began to fall away exposing the rusted out lintels, large cracks and compromised block work structure.

As the business has grown it has also become apparent that additional carparking space is required to ease congestion issues upon the site with the constant competition for parking space between customers, delivery of goods to site and the day to day operations of the employees. The removal of the building will allow for further carparking area within which vehicles can park and manoeuvre upon the site.

Figure 1 – View of building from western side of Flores Road



As part of our application please find enclosed the following supporting documentation and relevant forms as required by the City:

- Archival Recording of Heritage Places form (TP07) (Attachment 1)
- Current Municipal Heritage Inventory Place Record Form (Attachment 2)
- Site Photos and associated descriptions (Attachment 3)
- Existing Building Plans (Attachment 4)
- Proposed Site Plan (Attachment 5)

Trusting that this correspondence and the enclosed information meets with your requirements, however, should further information be required please do not hesitate to contact Mrs Kathryn Jackson from WA Planning & Logistics on 0459 186 171.

Yours faithfully,

Kathryn Jackson
WA PLANNING & LOGISTICS

REPORT

Place No:	165
Place Name:	Sun City Solar
Address:	140 (Lot 39) Flores Road, Webberton Plan: 11543 Volume: 1438 Folio:636
Local Government Authority:	City of Greater Geraldton
Landowner:	Scott Phillips
Occupier:	Scott Phillips (owner/director of Sun City Solar)

LOCATION

The property of 140 Flores Road, Webberton is set amongst an existing, built out, light industrial area that serves as the main industrial hub of the Mid West region.

The heritage listed building is positioned at the front (western boundary) of the property facing Flores Road.

PROPOSAL

This application is for the removal of the heritage building to allow for additional carparking upon the site to increase the usability of the site.

ARCHIVAL RECORDING

A completed Archival Recording of Heritage Places form (TP07) has been completed and included as **Attachment 1** to this report.

MUNICIPAL INVENTORY LISTING

The building is listed within the City's Municipal Inventory as Place No.165. A copy of the Place Record from the Municipal Inventory has been included as **Attachment 2** to this report and describes the property and provides a basic outline of the buildings history.

Since the review of the Municipal Inventory in November 2009 the property has been under the same ownership and is part of a site known as the commercial premise for 'Sun City Solar'. In relation to the heritage listed building, at the time of the last inventory review this building was still in use as a caretakers residence and reception/office for the business, however given the structural deterioration of the building it is no longer able to be used for habitable or commercial purposes and largely lies unused. The building currently is filled with various items which are being stored within the building temporarily to assist the Geraldton Dog Rescue group.

It is suggested that the following history could be added to the Place Record:

"Building was used as part of a mower shop business from approximately 1976 until 2000.

Premise was then used as 'Shelly's Barbershop' from 2000-2005.

The property was purchased by Scott Phillips in 2006 and has been part of a business premise known as 'Sun City Solar'. From 2007 to 2011 the building was used as a caretakers residence and shopfront with various changes to the building such as painting and rendering of the external facades, solar panels fitted to roof, and internal upgrades to provide for a shop counter, business storage and display, staff/meeting room and a caretakers residence. In 2011 the building was considered too unsafe with the rapid deterioration of the limestone blocks with evident bowing of lintels and major cracking and movements in the walls."

No further additional history is known about the building or its previous occupants to be added to the existing record for this property.

PHOTOGRAPHS

External and internal photographs have been included as **Attachment 3** to demonstrate the level of deterioration of the building and to provide an up to date record of the building prior to its removal.

PLANS OF EXISTING DEVELOPMENT

As part of this application the following plans have been supplied as **Attachment 4**:

- Site Plan – demonstrates the location and context of the building upon the site for historical record confirming its exact location upon the property
- Floor Plan and Elevations – demonstrate the existing floor plan and elevations of the property prior to demolition.

SUPPORT FOR REMOVAL

- Structurally Unsound

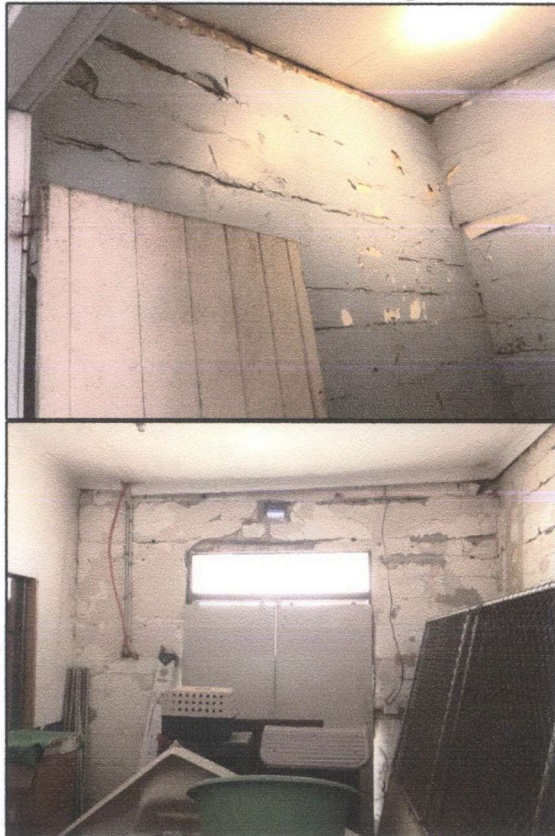
The foremost reason for removal of this building is that it has become structurally unsound. When this building was constructed it was an era that saw many people owner build their homes and this often meant using what was on hand at that time to complete a project.

The groundwork of the home is built on beach pebbles and not a solid formed foundation which since its construction has meant continual movement and cracking to the walls of the building. Although this has been patched continually over the years, as the mortar and the blocks are of a mixture that did not contain concrete (or similar) the walls themselves are beginning to collapse as the blocks and mortar disintegrate. Large cracks can be seen starting from the external elevation all the way through to the inside.

The full extent of damage is partly covered/unseen as the blocks were rendered and painted to improve the appearance of the building and in an attempt to provide support to the blockwork and slow the deterioration of the walls.

Additionally when the building was constructed, in lieu of suitable lintels, car leaf springs were placed above windows and doorways to provide support for the openings. These have now rusted through and it is only a matter of time before openings are comprised and collapse under the weight of the blockwork above with some openings already showing signs of bowing.

Majority of the building has highly visible deterioration which is causing the building to be subject to the elements. There are large cracks in the mortar and around door and windows, holes in the fibre cement sheeting on the rear lean-to and some windows and doors that can no longer be operated and now remain ajar. There is also damage to the roof with missing flashing and barging with water damage having already collapsed some ceilings within the building.



- Restoration Cost Prohibitive

To resolve the structural issues with the current state of the building it would require the walls to be completely rebuilt as the blocks cannot be reused as they are crumbling away. New fitting of doors and windows as most are water and sun damaged as well as having bowed frames with the weight of the wall bearing down on them. Even the foundation of the building having been constructed on beach pebbles would need to be

removed/reinforced. The building also requires a complete new fit out of plumbing lines and electrical wiring.

The house is currently completed gutted which would mean the reinstatement of kitchen, laundry, bathroom and toilet. Due to water damage all ceilings and majority of dry walls need to be replaced. Fibre cement sheeting on rear of lean to is completely degraded and would need to be replaced in full. The roof and guttering is so damaged/deteriorated that it would mean replacing sheeting, reinstating flashing and barge and the many other holes and leaking points. In itself the rebuilding of the structure would be cost prohibitive in comparison to a new build having to rebuild each element at a time whilst trying to maintain the basic structure.

- Lack of original fabric

By the time the above works were undertaken, amongst other items like flooring and painting there would be little to no original fabric remaining. As every single element of the building would physically need to be rebuilt it would no longer be a restoration of the home but be in essence a new build. The owner instead suggests that the flooring and interesting features such as ceiling roses and vent covers be salvaged and reused where possible.

- Not fit for purpose

Any rebuild would still only result in a building that is not fit for purpose or in keeping within its industrial context and land uses. Whilst it is recognised that heritage buildings form an important part of a region's history for practical reasons there comes a point where the restoration of a place may begin to compete with the ability to further develop a site in line with the strategic intent for an area and limits the potential development onsite by a landowner. In this case the building is not required as a caretaker's residence, nor is this an appropriate land use within an industrial area. While it was used in part as an administration building for an industrial site the building is not of a size and configuration suitable to this land use. The building could be used for storage, however again this is limited greatly by the small openings, access, small sized rooms and other 'house' features that constrain the amount and type of storage that could potentially go into the building.

- Burden to provide a safe workplace

When the structural integrity of a building begins to fail and the building deemed unfit for use there is a burden on an employer to take all actions necessary to ensure that their workplace is safe.

- Need for additional carparking area and legibility of the site

The building is located in a position that creates a 'ring road' through the property and greatly impedes the access and manoeuvrability of vehicles upon the site. Being an industrial area it is important to have sufficient access for oversized and long vehicles to traverse a site for both delivery of goods and also for the logistical operations of a business delivery on their goods and services. Removal of the building will greatly improve the legibility and usability of the carparking area and the current lack of space

that exists for customers and workers to negotiate to undertake business activities upon the site.

- *Improvement to streetscape*

Whilst this building is heritage listed it is not of a design and character that fits its context within an industrial area. If the building was in good condition it could with considerable finance and effort be made to better link with its surroundings, however in its current deteriorated and altered state this is no longer a reasonable option. Its appearance is a rundown, tired building that has been painted in colours that do not fit with the character of the house nor improve its overall appearance or ability to blend with the existing structure upon the site, the attachment of solar panels dominates and detracts from any features of the roofline and gable end details and the boarded up windows and doors that clearly communicate that the building is no longer in use, the removal of this building is seen as a benefit not only to the site but for the improvement of the visual appearance of the streetscape.

DETAILS OF REMOVAL

A separate demolition permit is to be lodged for the removal of the building in accordance with the Building Code of Australia.

It is proposed that the building would be removed and the area remediated to a sealed bitumen standard to match with the existing bitumen carpark surrounding. No additional bays would be marked on ground with the area left open to greatly improve access and manoeuvrability onsite and to accommodate the parking of oversize and long vehicles.

A copy of the site plan showing the proposed carparking/access arrangement for the site following the removal of the building has been included as **Attachment 5**.



ATTACHMENT 1
Archival Record Form





TRIM Reference: _____

ARCHIVAL RECORDING OF HERITAGE PLACES

Name of Place: Sun City Solar

Date: 4 July 2018

Prepared By: WA Planning & Logistics

Prepared For: Sun City Solar

ARCHIVAL RECORD DETAILS

1. PLACE DETAILS

Name of Place: Sun City Solar

Other Name(s): Stihl Mower Shop

Address: Include Lot No.s if known 140 (Lot 39) Flores Road, Webberton

Place Type : please tick

Individual Building or Small Group Precinct

Park/Garden Other Structure (e.g. Memorial)

Other, please describe _____

2. OWNERS DETAILS

Name of Owner(s): Scott Phillips

Address: PO Box 2156, Geraldton WA 6530

3. HERITAGE LISTINGS

Local (Municipal) Inventory: Yes No
If YES, see Local Inventory Details

Town Planning Scheme: Yes No

State Register of Heritage Places: Yes No

National Trust: Yes No

Register of National Estate: Yes No

Other (e.g. Art Deco Society): N/A

LOCAL INVENTORY DETAILS

Place Number:

165

Significance Category:

1 2 3 4 5 6

Local Inventory Place Record Form attached:

Yes No

If NO, insert details in Section 5

4. DETAILS OF ARCHIVAL RECORD

Reasons for archival record being prepared:

E.g. place subject to development application, place being demolished

Since the 1930s the building has been subject to a number of modifications to allow the building to continue to be used for habitable purposes in the earlier years and for use as a shop premise to date. These changes have been borne out of necessity to keep with changing technology (electricity, plumbing, airconditioning and the like), to extend the footprint of the building (addition of lean-to) or to repair and maintain the building as it has aged. The building is now at a point where it is structurally unsound and is no longer safe to be used. The roof is damaged and is leaking which is collapsing the ceilings, the mortar in all external walls is crumbling away, the lintels (car axles) have now rusted away to the point where they are beginning to collapse above the windows and doorways and the whole building is now unsealed in many places where there are holes, cracks and damage to the external elevations. This place is to be removed from the site.

ARCHIVAL RECORD PREPARED BY

Owner: WA Planning & Logistics

Consultant:

Other:

On behalf of: Scott Phillips

Archival Record submitted to Local Govt: Yes No Date: 4 July 2018

Archival Record endorsed by Local Govt: Yes No Date: _____

Changes/additional information required by the Local Government: summarise below

5. PLACE INFORMATION

The information in Section 5 is to be completed only if;

- The information is not contained in the attached Municipal Heritage Inventory place form; or
- The information in the Municipal Heritage Inventory place form is incorrect or not current (i.e. changes have occurred to the place since the place form was originally prepared).

OTHEWISE TICK

Local Inventory Place Record form attached: Yes

PHYSICAL DESCRIPTION

A brief description of the site, general style, main construction materials etc.

Walls: Brick with render over
Roof: Corrugated iron
Condition: Poor
Integrity: Poor
Original Fabric: Poor
Modifications: Various modifications see Appendix 1 for details
Description: See covering letter and attachments for further information.

This information should be supported by photographs/other images.

Date(s) of Construction: 1930s

BRIEF HISTORY

Either use the space provided or attach information. Include previous owners, original and subsequent uses, dates that additions or other changes were made)

Building was used as part of a Mower Shop business from approximately 1976 until 2000. Premise was then used as 'Shelly's Barbershop' from 2000-2005. The property was purchased by Scott Phillips in 2006 and has been part of a business premise known as 'Sun City Solar'. From 2006 to 2011 the building was used as a caretakers residence and shopfront with various changes to the building such as painting and rendering of the external facades to a green and grey colour scheme, solar panels fitted to roof, and internal upgrades to provide for a shop counter, business storage and display, staff/meeting room and a caretakers residence. In 2011 the building was considered too unsafe with the rapid deterioration of the limestone blocks with evident bowing of lintels and major cracking and movements in the walls.

WHAT IS SIGNIFICANT ABOUT THE PLACE OR WHAT IS/ARE THE MAIN FEATURES?

E.g. associated with an important person or event, interesting / unique style of fabric, rare example of its type, important to the local community and / or visitors, contributes to a streetscape or precinct etc. - refer also to municipal heritage inventory place form.

Nothing additional to that which is already contained within the current record.

CONDITION OF PLACE *Comments* Very Good Good Fair Poor

The place is in a state of disrepair as the condition of the external elevations of the building have deteriorated to the point where it can no longer be used as it has become structurally unsound and unsealed from the elements. There is major cracking within all mortar joints (no concrete used in mortar mix), lintels are collapsing (car lintels were used in lieu of proper building materials) and the roof is damaged in multiple places and leaking water throughout the building causing damage and collapsing ceilings.

DETAILS OF CHANGES TO BE MADE *Development application may be attached*

To be removed from site.
Original fabric such as floors, beams, ceiling roses, any moulding features, doors, windows, frames will be salvaged for future use upon the site.

6. SUPPORTING INFORMATION

PHOTOGRAPHS Tick option supplied

Black and White prints Colour prints Digital

EXTERNAL

- All elevations in full and details of interesting features (e.g. windows, front door, verandah detailing, chimney pots etc.).
- The place in its setting (i.e. in relation to other buildings, streetscape).
- Associated building or outbuildings.
- Landscaping.

INTERNAL

- All rooms and any interesting features (e.g. ceiling roses, fireplaces, staircases, pressed metal ceiling).
- Any interesting features of associated buildings and outbuildings.

Important: Plans must include any rooms, features etc. that may/will be altered or removed if redevelopment proceeds. The photography should clearly show the condition of the place.

Please tick **Attached**

LOCATION PLAN

To show street/lot in relation to locality/area/Townsite

SITE PLAN

Standard Required: Category 1: Architectural standard, to scale

Category 2-5: sketch standard, to scale

BUILDING PLANS Standard Required:

Floor Plan Category 1: Architectural standard, to scale

Category 2-5: sketch standard, to scale

Elevation Category 1: Architectural standard, to scale

Category 2: sketch standard, to scale

Category 3-5: sketch standard, if possible

Important: Plans must include any rooms, features etc. that may/will be altered or removed if redevelopment proceeds.

HISTORIC PLANS

If available, a copy of the plans should be attached. Alternatively a reference to their holding location should be given, if known.

CERTIFICATE OF TITLE

If available, attach a copy of the current title. It may be possible for the Local Government to supply a Historic Title search.

HISTORIC PHOTOGRAPHS

If available

MEMORANDUM FOR THE DIRECTOR

DATE: 10/15/54
SUBJECT: [Illegible]

RE: [Illegible]

[Illegible text block]

10/15/54

[Illegible text block]

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MEMORANDUM FOR THE DIRECTOR

[Illegible text block]

10/15/54

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ATTACHMENT 2
Municipal Inventory Place Record Form





City of Greater Geraldton

Municipal Inventory Place Record

Area: Geraldton	Place No: 165	Category: 4X
Assessment Date: 06-Nov-96	HCWA No: 13264	Last revision date: 18-Nov-09

Place Details:

Name: Sun City Solar
Other Names: Stihl Mower Shop
Type of Place: Shop
Address: 140 Flores Road
Map Reference: 16.18
Suburb: Webberton
Site Area: 0
GPS Northing: 6817493
GPS Easting: 268336

Photo Description:

26/06/2009
Tanya Henkel
Verandah posts replaced and solar panels mounted to northern roof.



Site Details:

Lot / Location: Lot 39	Diagram/Plan:
Reserve:	Vol/Folio:
Assess No: 13749	Purpose:
Occupied:	Vesting:
Public Access: Restricted	Occupier:
	Lease:



City of Greater Geraldton

Municipal Inventory Place Record

Uses of Place:	
Original Use: Residence	Current Use: Shop
Description:	
Walls: Brick	Roof: Corrugated Iron
Condition: Good	Integrity:
Original Fabric:	Modifications: Numerous changes over time
<p>This former house has been converted for use as a shop. The steeply pitched gambrel corrugated iron roof has a separate gable roof to the south west with fibro and timber infill. A solar panel array has been installed to the northern roof. A separate verandah roof to the north west is supported on metal posts. To the rear, a brick lean-to has a tall brick chimney. A second brick chimney to the south east has two terracotta chimney pots. Windows are a mixture of timber and aluminium framed.</p>	
History:	
Construction Date: 1/01/1930 12:00:00 A	Source: S. Gratte
Architect: Unknown	Builder: Unknown
<p>This house was built in the 1930s for the Rowe's who were builders. The house was located on a fairly large market garden which later became the site of the Jubilee Poultry Farm in 1950. The poultry farm was owned by publican and Councillor, Len Shepherd and received its name from Geraldton's Jubilee in 1950, when it commenced operations. The farm ceased around 1975 and was subsequently subdivided by Mr Shepherd. (Source: Stan Gratte)</p>	
Historic Theme(s):	
HCWA:	AHC:
104 Land allocation and subdivision	4.1.2 Making suburbs
308 Commercial services and industries	3.19 Marketing and retailing
Statement of Significance:	
<p>Although this place has been altered to accommodate a commercial activity the building nevertheless retains much of its original form such as the steeply pitched roof and gable end detailing. Formerly used as a residence, this building is one of the oldest in the area.</p>	
Management Category: 4X	
Level of Significance:	
SOME SIGNIFICANCE: Contributes to the heritage and/or historical development of the locality.	
Management Recommendation:	
Conservation of the place is desirable. Any proposed change to the place should be in sympathy with the heritage values of the place.	
Other Listings:	
No Other Listings	
Supporting Information:	

Other Photos:



City of Greater Geraldton

Municipal Inventory Place Record

Photo Description:

6/11/1996

Suba & Grundy

Former residence converted for commercial purposes.



ATTACHMENT 3

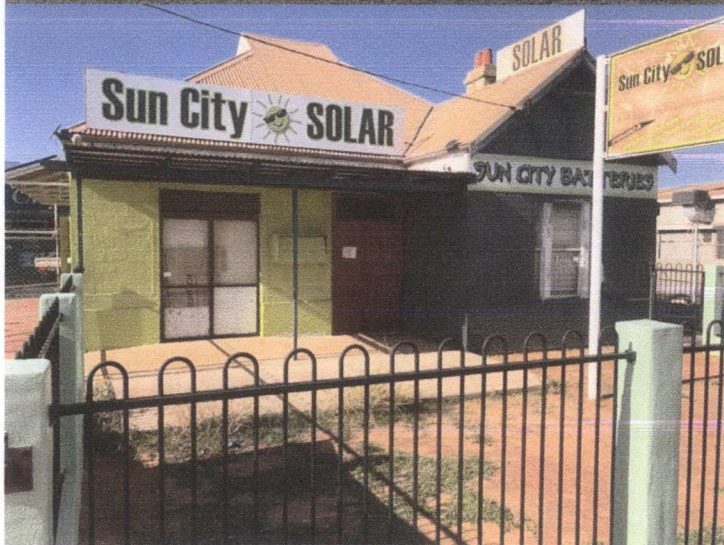
External & Internal Photographs



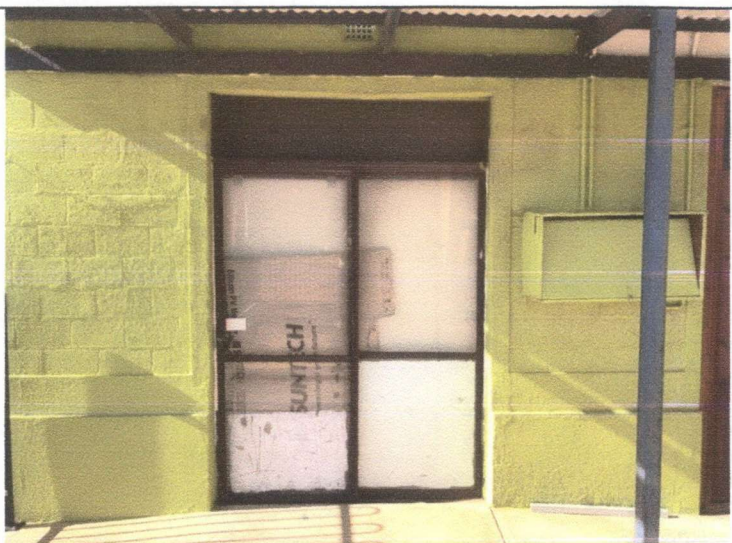
EXTERNAL PHOTOGRAPHS

WESTERN (FRONT) ELEVATION

- Front elevation as viewed from front of the property on the eastern side of Flores Road
- Original roof line and chimney still maintained
- Addition of signage to advertise the presence of the business upon the lot.
- Façade has been painted in colours that match with the colour theme of the business



- Northern side of front elevation
- Front elevation has been modified with a large front window
- Lintel above window is visibly bowing
- Electrical box can be seen attached to the front of the building although no electrical wiring is still functional within the building with the electricity turned off to this building and the fixtures and wiring mostly removed
- Bottom photo is the view of the window from the inside of the building to demonstrate the extensive deterioration and risk of collapse of this wall over the opening



- Southern side of front elevation
- Window facing Flores Road



- Southern side of front elevation showing gable end
- Modified signage
- Damaged eaves and barge



NORTHERN (SIDE) ELEVATION

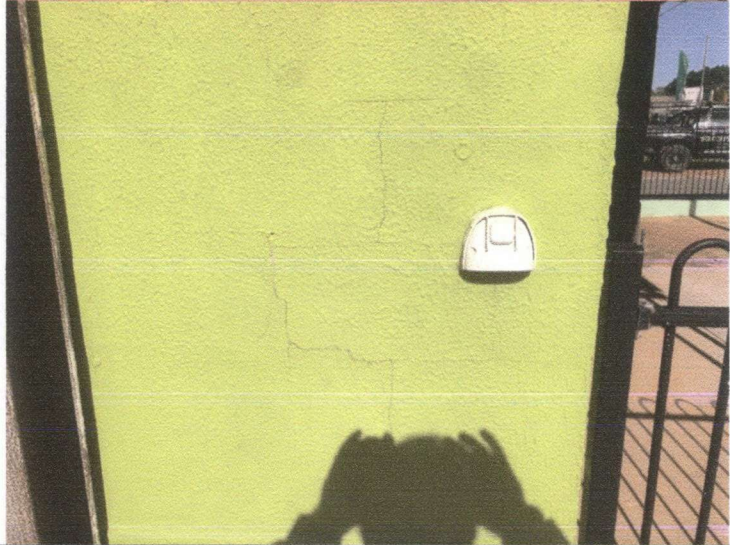
- Extended view of front elevation as seen driving from the north on Flores road.
- Solar panelling has been added to the North facing roofline
- North facing roof cladding has been painted white





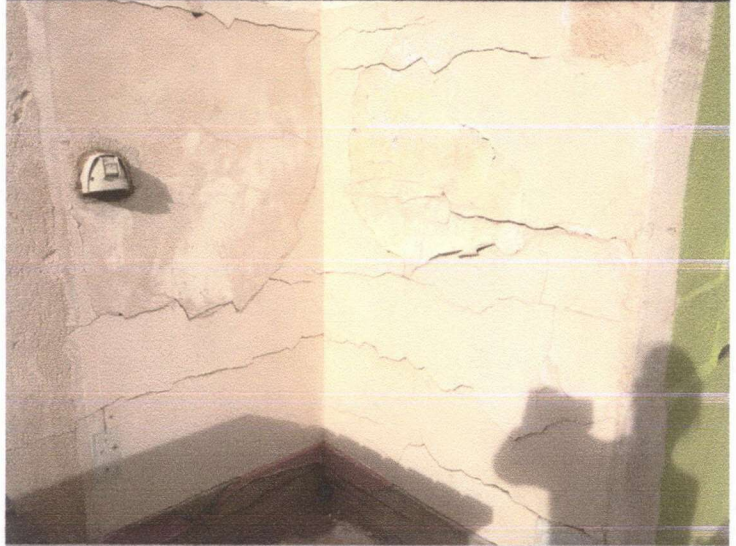
- Closer images of northern elevation
- Modified windows to aluminium frame with security screening
- Addition of air-conditioning within window frame
- Cracks showing through render of compromised mortar joints





- North side elevation to the rear of the building
- There had previously been a lean-to kitchen which fell down and was not replaced. The old doorway to this lean-to has been filled in
- Extensive cracking to brickwork is present





EASTERN (REAR) ELEVATION

- Rear elevation as viewed from the front of the additional building to the rear of the property
- Asbestos extension with flat roofline
- Condition of rear of building is poor



SOUTHERN (SIDE) ELEVATION

- Southern side elevation as viewed from rear of the property
- Original roof line and chimney still maintained to the front of the property.
- Asbestos extension and flat roofline present to the rear of the building.
- Addition of signage to advertise the presence of the business upon the lot.
- Façade has been painted in colours that match with the colour theme of the business



- Southern side elevation to rear of building
- Portion of brickwork has been exposed to allow for an assessment of the extensive cracking present



- Southern side elevation to front of building
- Damage to base of building joining footings

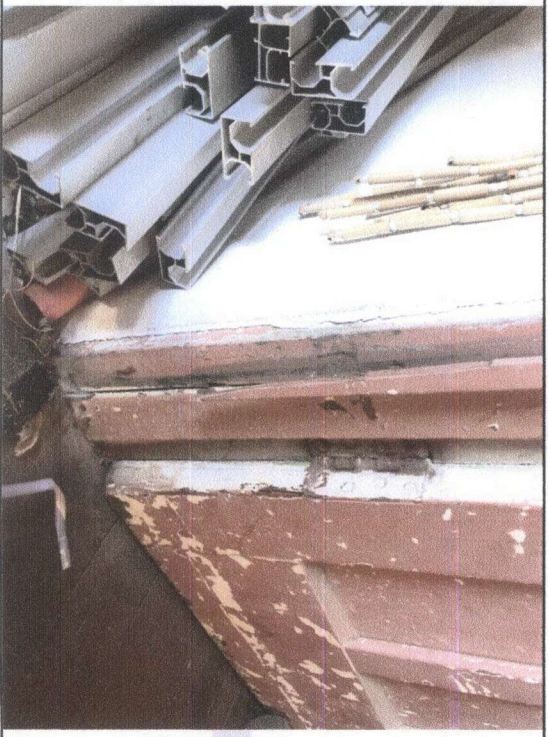


INTERNAL PHOTOGRAPHS

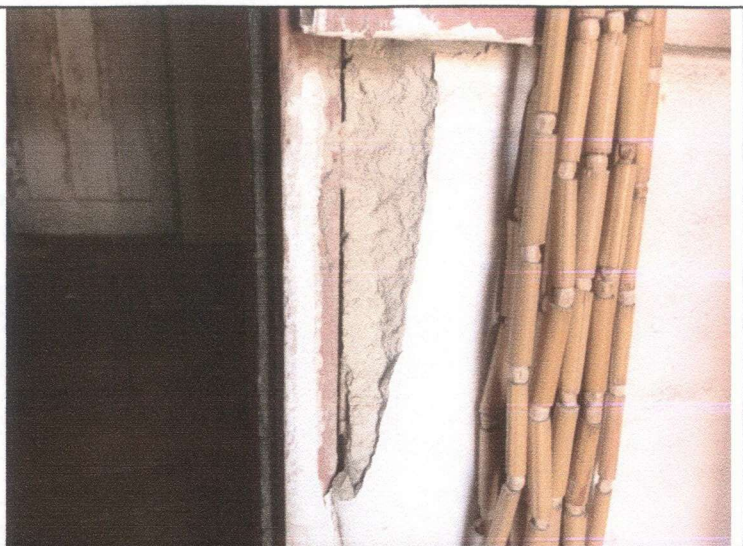
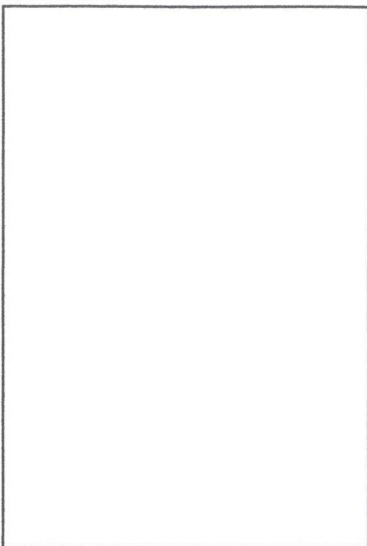
REAR LEAN-TO

- Asbestos and tin clad rear extension
- Large gaps between panels, around doors and between walls and roof allowing dust, rain and pests into the building.





- Old rear entrance



- Modified concrete work
- Drainage for the roof is still directed into the rear extension



- Poor sealing
- Missing wall panelling
- Exposed wires (no longer live as power has been restricted to building)



KITCHEN

- Damaged brezeway





- No architraves around door, damaged mortar and brickwork



- Cracking to brickwork
- Missing architraves



- Salvaged ceiling rose



STORAGE

- Internal room to northern side of building

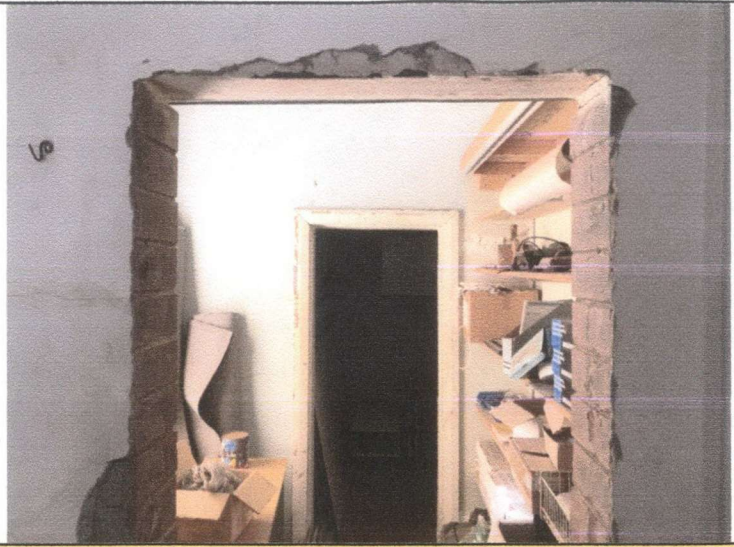




- Ceiling bowing and cracked



- Internal room to northern side of building
- Modified brickwork present in doorway



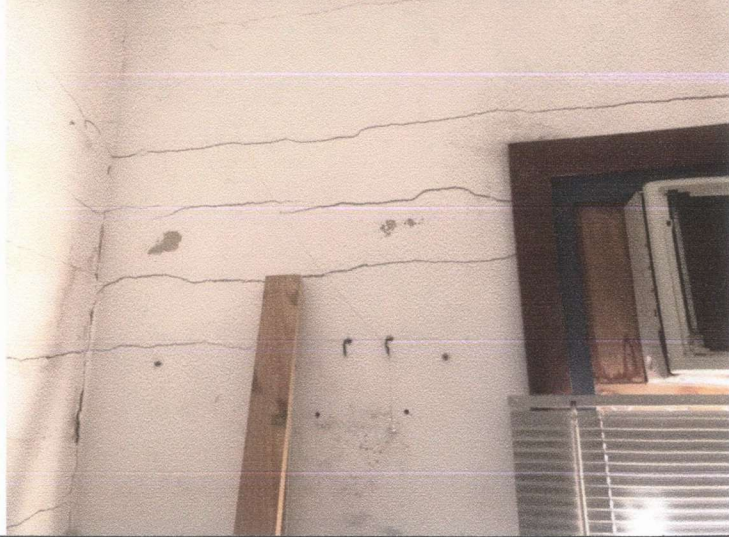
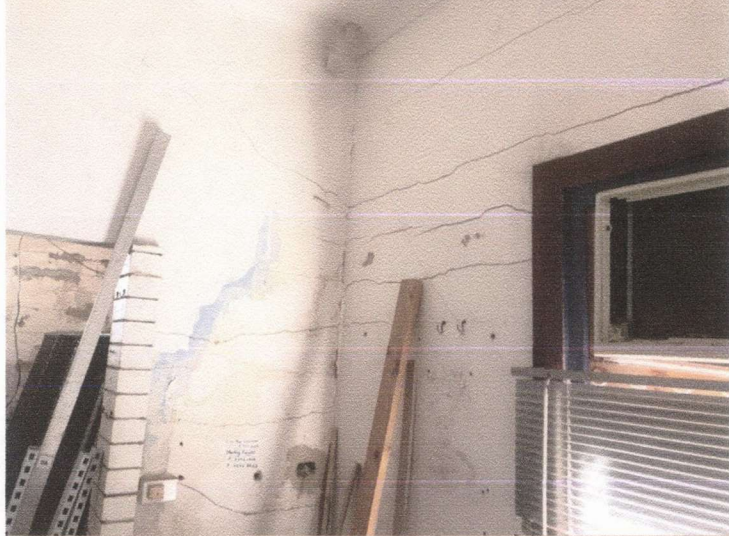
PANTRY

- Internal room to northern side of building
- Modified brickwork to doorway
- Modified sliding door



LOUNGE

- Internal room to northern side of building
- Large amount of cracking to brickwork present
- Modified brickwork around doorway



- Internal room to northern side of building
- Modified brickwork to window entrance
- Window entrance enclosed



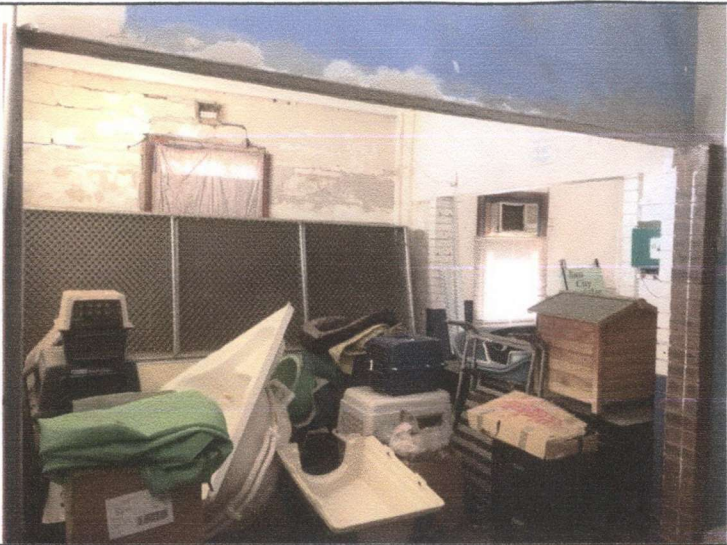
- Internal room to front of building
- Extensive cracking to brickwork
- Modified brickwork to entrances



- Internal room to front of building
- Modified brickwork to entrances
- Cracking to brickwork



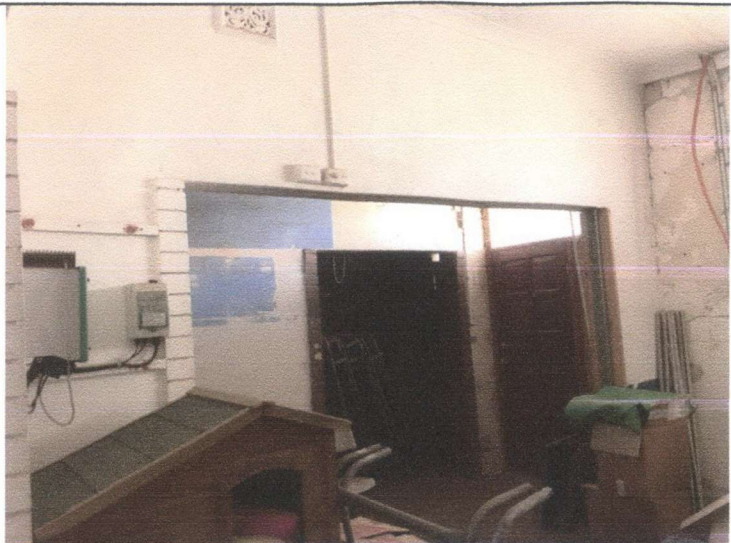
- Internal room to front of building
- Missing breezeway
- Extensive cracking to brickwork
- Modified brickwork to entrances



- Internal room to front of building
- Missing breezeways
- Extensive cracking to brickwork
- Car springs used for lintels
- Bowing of brickwork above windows







HALLWAY / ENTRY

- Internal hallway facing front door
- Missing ceiling
- Extensive deterioration to blockwork above entry





- Internal hallway
- Circular hall arch
- Modified brickwork to entrances

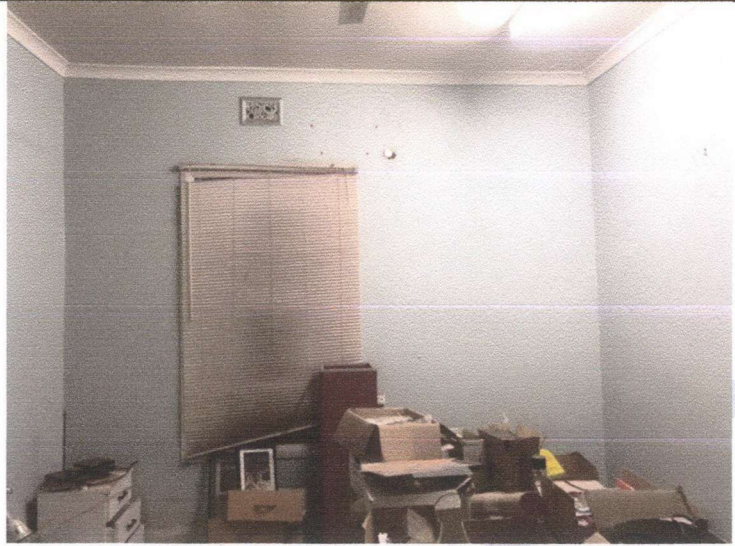


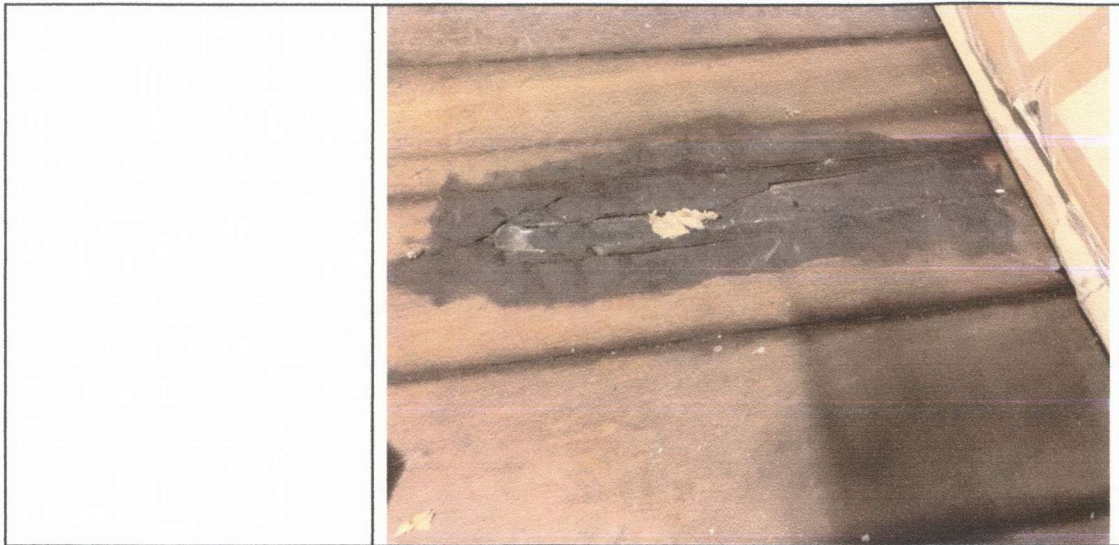




BEDROOM (EAST)

- Internal room to southern side of building
- Damage to breezeway

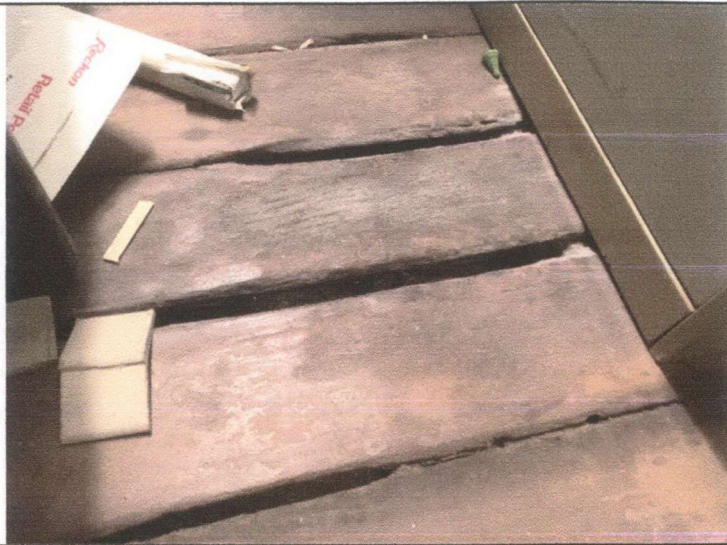




- Internal room to southern side of building
- Damage to breezeway
- Damage to floor boards



- Internal room to southern side of building
- Damage to floor boards
- Rumoured that the damage to the floor was caused by an occupant who died in the room and was not found for sometime and the body had begun to rot away the flooring. It was said that the body was brought out by removing a large section of the wall to this room



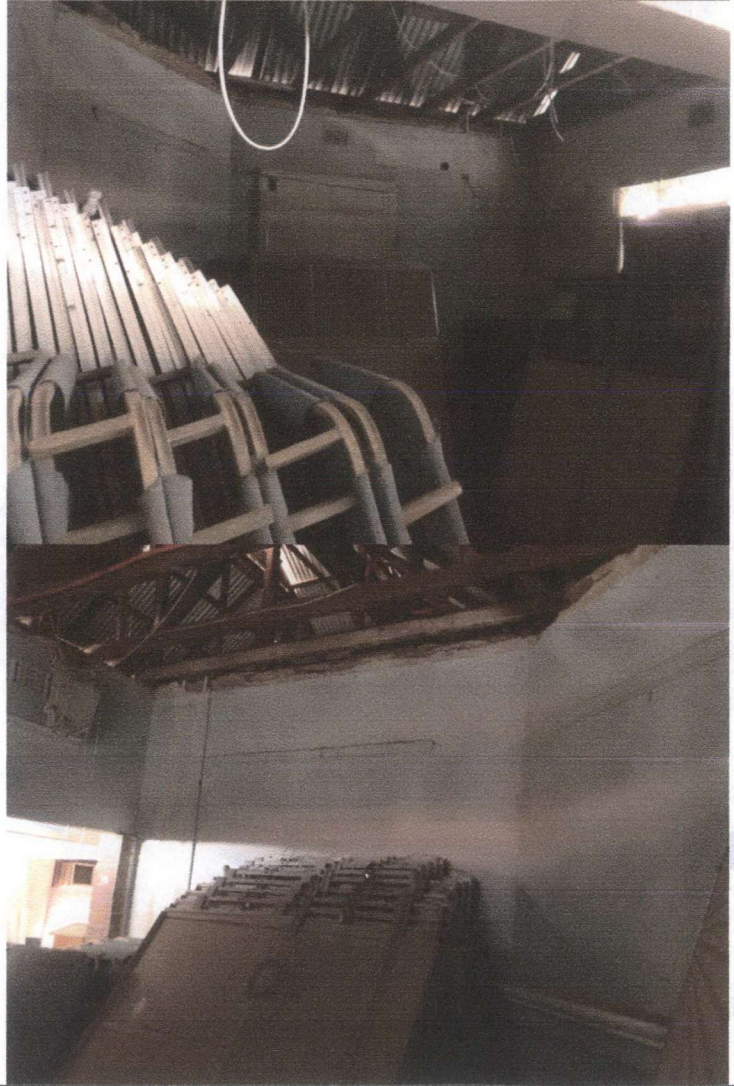
BEDROOM WEST

- Internal room to southern side of building
- Roof bowing and in poor repair



OFFICE

- Internal room to southern side of building
- Missing ceiling





BATHROOM

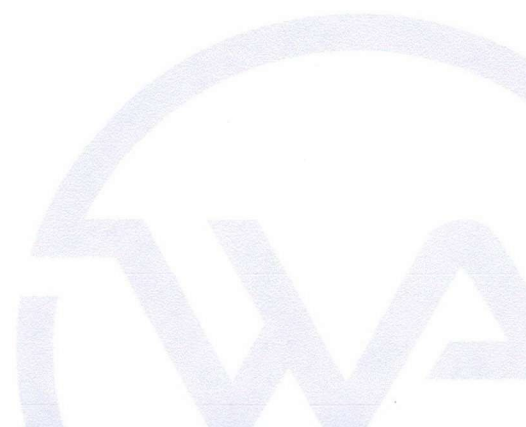
- Internal room
- Modified tiled flooring





TOILET

- Internal room
- Modified tiled flooring



- Cracking to brickwork
- Wall in poor repair
- Large gap between wall and roof
- Door incorrect size for doorway



ATTACHMENT 4
Existing Building Plans





2 PROPOSAL



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CLIENT: Scott Phillips - Sun City Solar
LOT 39 - 140 Flores Road
WEBBERTON

TITLE: DEMOLITION OF EXISTING RESIDENCE REV 1
DRAWING No A301 PROPOSAL 12/6/2018

Rev	Date	Revisions
1	12/6/2018	PRELIMINARY PLANS



EXISTING BUILDING
(TO BE REMOVED)
FFL-0
10.75 AHD
EXISTING HOUSE
FLOOR AREA - 164.088m²

EXISTING STORAGE SHED
FFL-0
10.75 AHD
336m²

LOT 39
P11543
1985m²

LOT 40
P11543
1985m²

LOT 44
P11543
2218m²

LOT 45
P11543
2827m²

LOT 37
P11543
1985m²

FLORES
ROAD

BOLLARD

29.90 m

10.62

66.39 m

66.39 m

29.90 m

10.01

9.01

5.01

9.01

2.01

SITE PLAN

1 : 300



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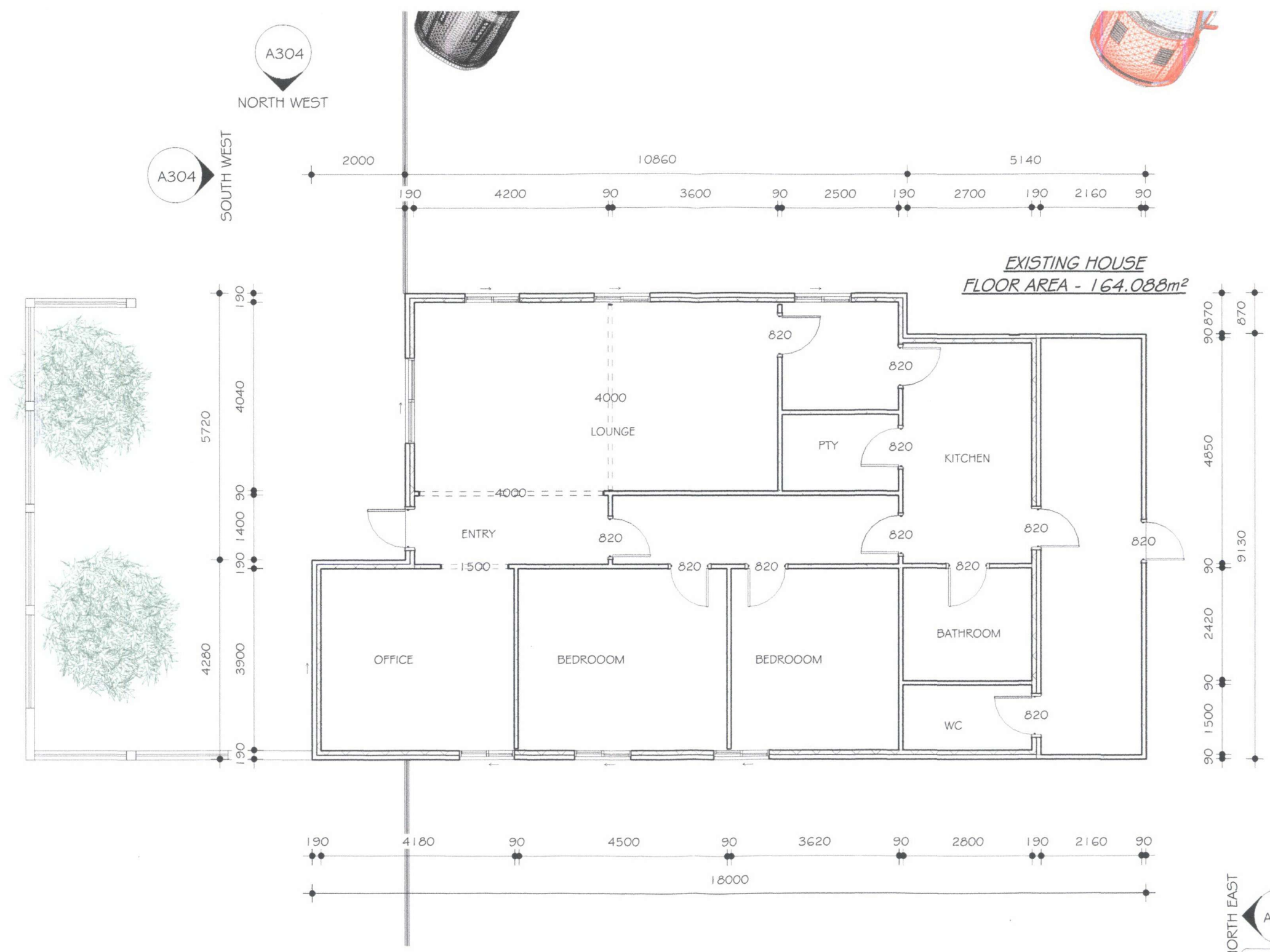
CLIENT: Scott Phillips - Sun City Solar
LOT 39 - 140 Flores Road
WEBBERTON

TITLE: DEMOLITION OF EXISTING RESIDENCE REV 1

DRAWING No A302 SITE PLAN

12/6/2018

Rev	Date	Revisions
1	12/6/2018	PRELIMINARY PLANS



FLOOR PLAN
1 : 100

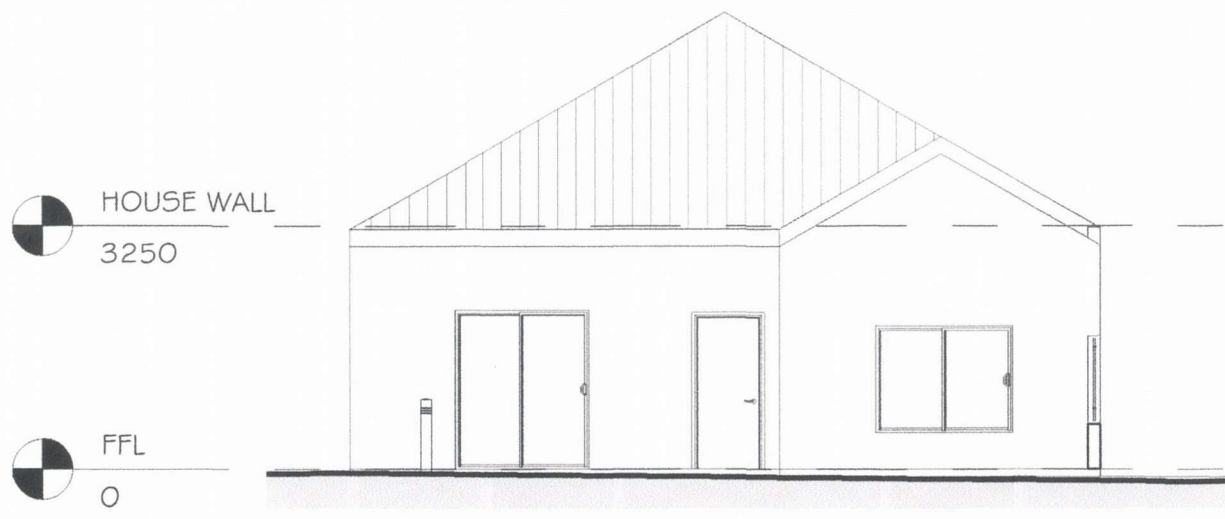
NORTH EAST
A304
SOUTH EAST
A304



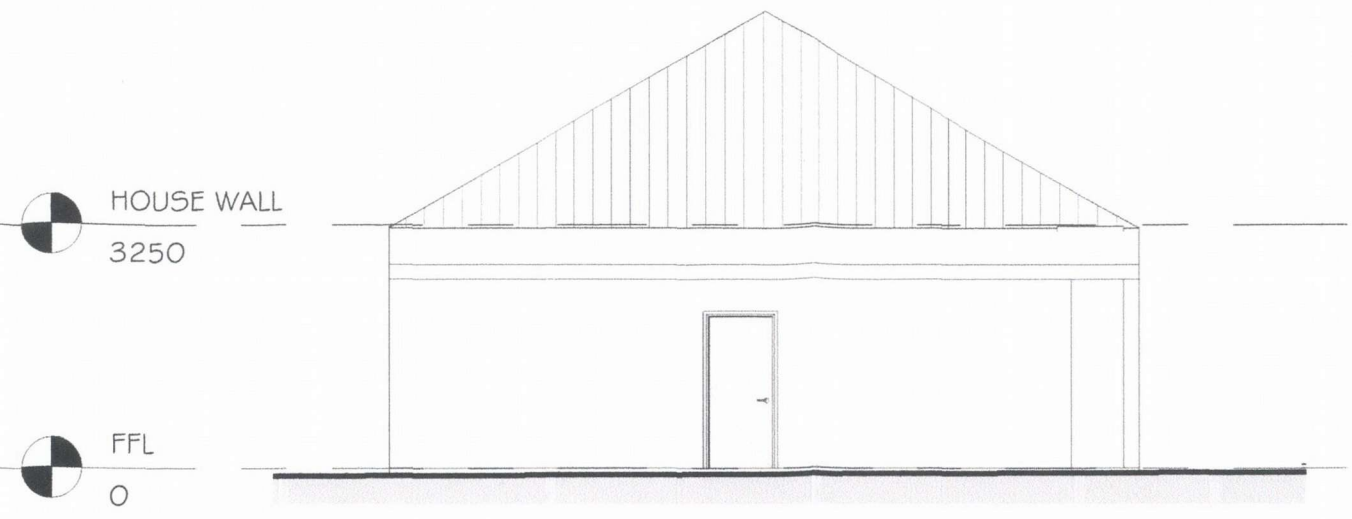
CLIENT: Scott Phillips - Sun City Solar
LOT 39 - 140 Flores Road
WEBBERTON

TITLE: DEMOLITION OF EXISTING RESIDENCE REV 1
DRAWING No A303 EXISTING BUILDING 12/6/2018

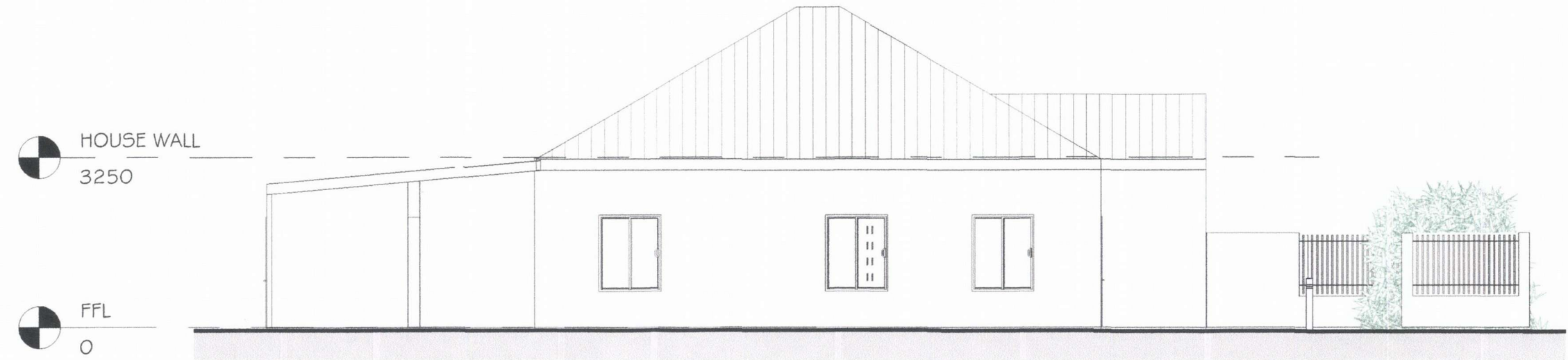
Rev	Date	Revisions
1	12/6/2018	PRELIMINARY PLANS



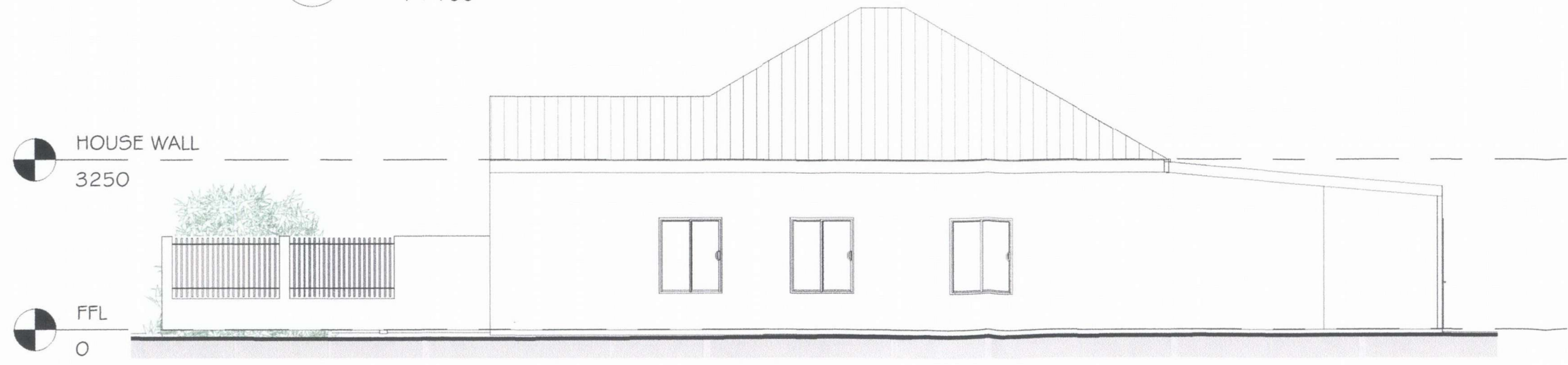
3 SOUTH WEST
1 : 100



1 NORTH EAST
1 : 100



4 NORTH WEST
1 : 100



2 SOUTH EAST
1 : 100

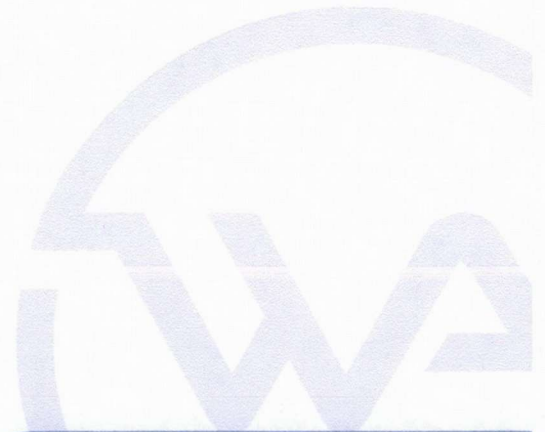
1	12/6/2018	PRELIMINARY PLANS
Rev	Date	Revisions

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GERALDTON W.A.

CLIENT: Scott Phillips - Sun City Solar
LOT 39 - 140 Flores Road
WEBBERTON

TITLE: DEMOLITION OF EXISTING RESIDENCE REV 1
DRAWING No A304 ELEVATIONS 12/6/2018

ATTACHMENT 5
Proposed Site Plan





EXISTING BUILDING
(TO BE REMOVED)
FFL-0
10.75 AHD
BITUMEN ALL WEATHER
SURFACE TO PAD ONCE
HOUSE IS REMOVED

EXISTING STORAGE SHED
FFL-0
10.75 AHD
336m²

LOT 39
P11543
1985m²

LOT 40
P11543
1985m²

LOT 44
P11543
2218m²

LOT 45
P11543
2827m²

LOT 37
P11543
1985m²

FLORES
ROAD

1 PROPOSED SITE PLAN
1 : 300



PETER GOODE
Eco Building & Design
GERALDTON W.A.

CLIENT: Scott Phillips - Sun City Solar
LOT 39 - 140 Flores Road
WEBBERTON

TITLE: DEMOLITION OF EXISTING RESIDENCE REV 1

DRAWING No A305 PROPOSED SITE PLAN 12/6/2018

Rev	Date	Revisions
1	12/6/2018	PRELIMINARY PLANS