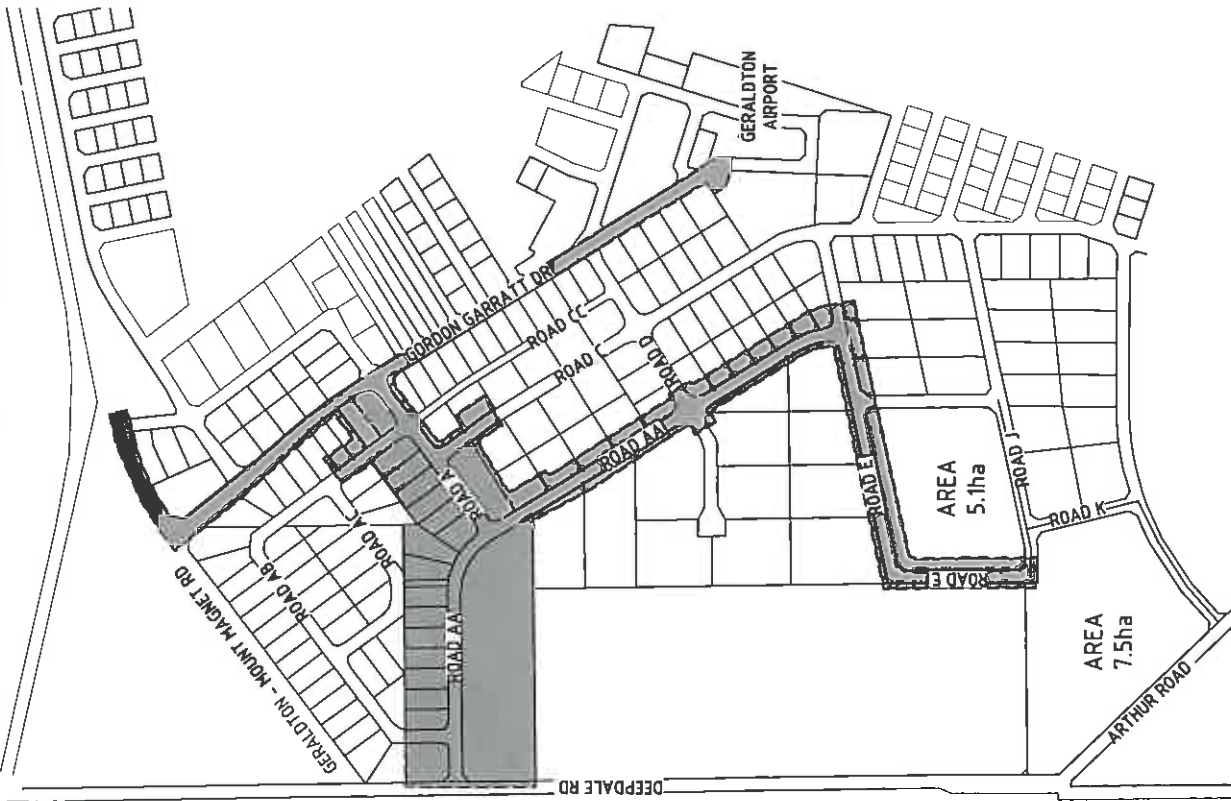




# CITY OF GREATER GERALDTON AIRPORT TECHNOLOGY PARK



<b>PRELIMINARY</b>		Project No.	211103.001
<b>NOT FOR CONSTRUCTION</b>		Scale	NOT TO SCALE
		Sheet No.	A1
		Drawing No.	SK-200
			02

Drawing Title  
**PROPOSED LOT RECONFIGURATION  
STAGE 1**

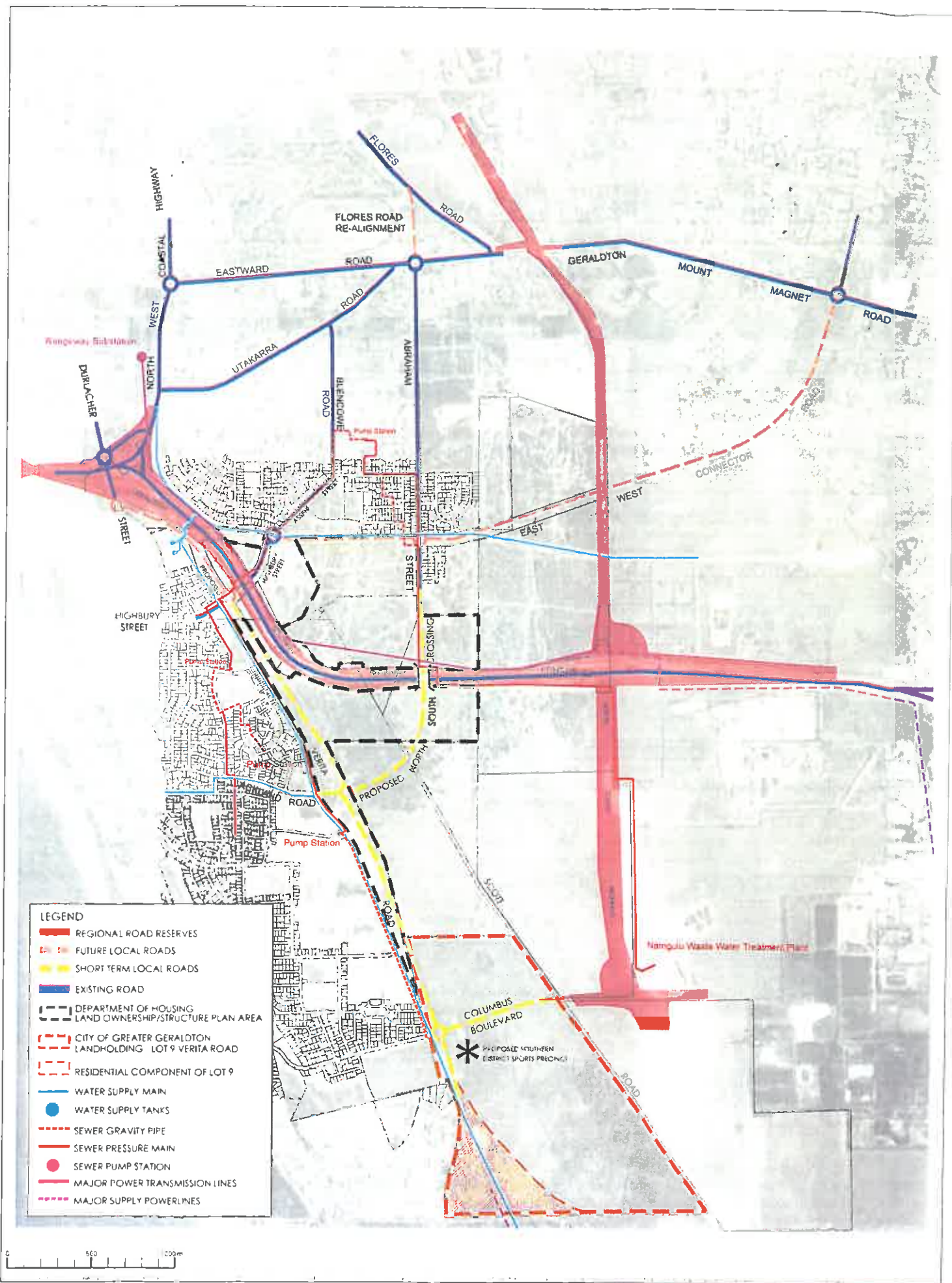
Project  
**AIRPORT TECHNOLOGY PARK  
GERALDTON**



**aurecon**  
 Telephone: +61 8 9449 2700  
 Fax: +61 8 9449 2701  
 Email: geraldton@aurecon.com.au  
 Website: www.aurecon.com.au

No.	Date	By	App.
02	28/07/13	RELEASD SCOPES STAGE 1	ST
01	28/07/13	PRELIMINARY - ISSUED FOR DISCUSSION	RA





- LEGEND**
- REGIONAL ROAD RESERVES
  - FUTURE LOCAL ROADS
  - SHORT TERM LOCAL ROADS
  - EXISTING ROAD
  - DEPARTMENT OF HOUSING LAND OWNERSHIP/STRUCTURE PLAN AREA
  - CITY OF GREATER GERALDTON LANDHOLDING LOT 9 VERITA ROAD
  - RESIDENTIAL COMPONENT OF LOT 9
  - WATER SUPPLY MAIN
  - WATER SUPPLY TANKS
  - SEWER GRAVITY PIPE
  - SEWER PRESSURE MAIN
  - SEWER PUMP STATION
  - MAJOR POWER TRANSMISSION LINES
  - MAJOR SUPPLY POWERLINES

DISTRICT ROAD NETWORK PLAN  
SOUTH GERALDTON  
CITY OF GREATER GERALDTON

**Karoo and Wandina Development Costs**  
**Prepared for Department of Housing / City Greater Geraldton**

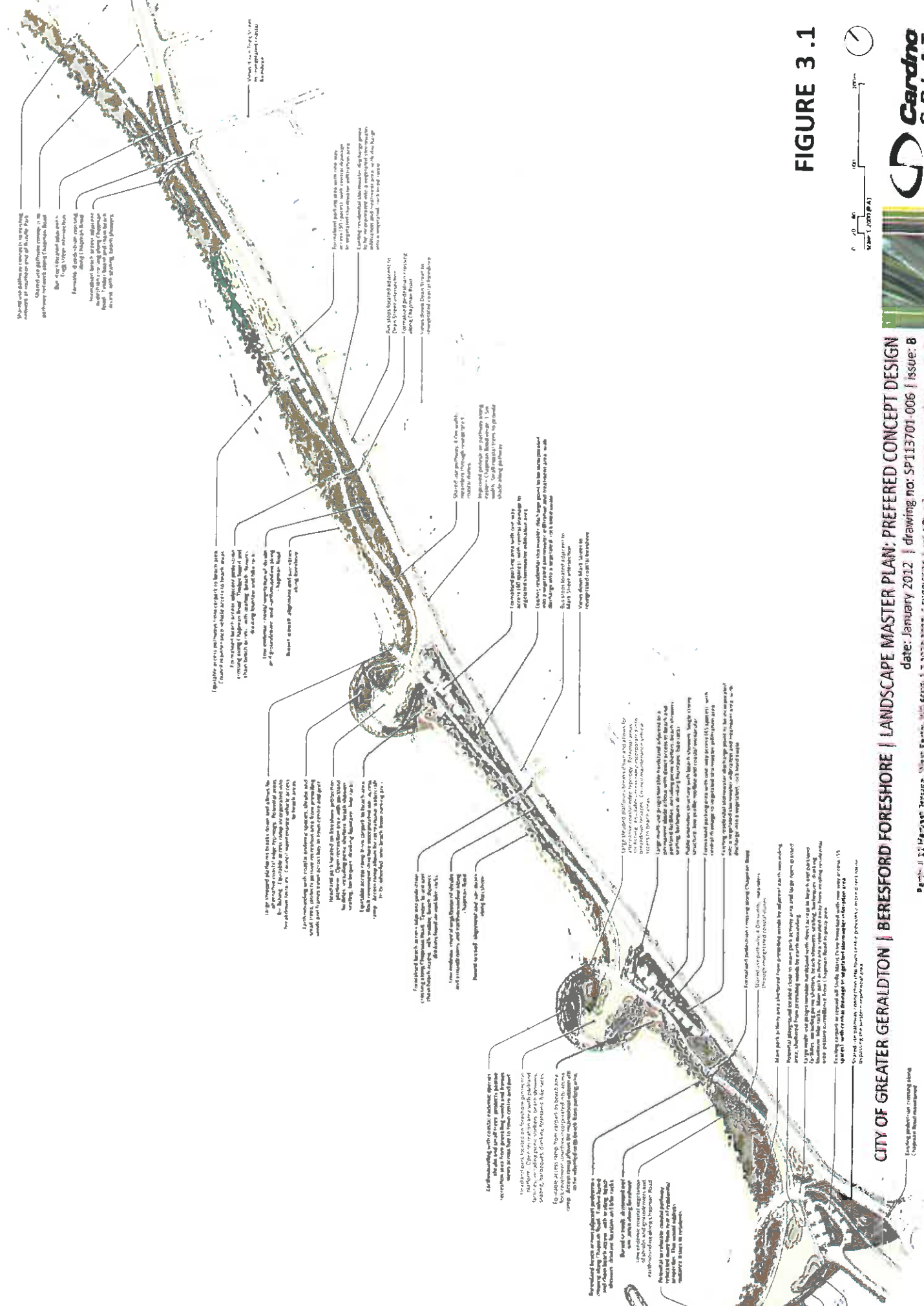
ITEM	DESCRIPTION	CONSTRUCTION COST
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**TRUNK INFRASTRUCTURE CONSTRUCTION COSTS**

1	<b>Verita Rd from Highbury St to Doncon St</b> Works include earthworks, roadworks, intersections at Highbury St, Ackland Ave, Columbus Blvd & Doncon St, stormwater drainage, lighting and design fees	\$ 8,500,000
2	<b>Overbridge Crossing of GSTC south of Abraham St</b> Works include earthworks, traffic management, abutment construction, decking installation, roadworks, lighting, abutment treatment and design fees	\$ 7,770,000
3	<b>North-South Karloo Road Connection (Abraham St to Ackland Ave)</b> Works include earthworks, roadworks, overbridge interface, stormwater drainage, lighting and design fees	\$ 2,410,000
4	<b>Columbus Blvd Extension (to Scott Rd)</b> Works include earthworks, roadworks, stormwater drainage, lighting and design fees	\$ 1,480,000
5	<b>DN600 Trunk Water Main (Bootenall Water Tank to Lot 9 Northern Boundary)</b> Works include steel pipe supply, excavation and pipe installation, connections, reinstatement and design fees	\$ 3,120,000
6	<b>Wastewater Pump Station(s) and Trunk Sewer Mains</b> Works include Karloo Regional Type 90 WWPS, 375mm dia. gravity sewer, 300mm dia. sewer pressure main, Lot 9 Verita Rd Type 40 WWPS, 150mm dia. sewer pressure main and design fees	\$ 2,990,000
7	<b>High Voltage Power Supply Feeder Cable from Rangeway Sub-Station</b> Works include supply and installation of high voltage feeder cable, sub-station interface and design fees	\$ 1,700,000
	<b>INFRASTRUCTURE CONSTRUCTION COST TOTAL (EXCLUDING GST)</b>	<b>\$ 27,970,000</b>

- Notes:
- 1) GST is not included in the above construction costs
  - 2) A 10% Construction Contingency has been applied to the each individual items and is included in the above figures
  - 3) The above description of works should be read in conjunction with the attached plan P11015 FIG 002 Rev C
  - 4) The above costs are based on preliminary information and are subject to detailed investigation
  - 5) The above costs are subject to receipt of ongoing advice from service providers
  - 6) Water main installation based on minimal traffic management and reinstatement works





Shaded side pathways remain in situ as they are important to the overall form of the foreshore. The shaded side pathways remain in situ as they are important to the overall form of the foreshore. The shaded side pathways remain in situ as they are important to the overall form of the foreshore.

Formalised parking area with one-way access to the foreshore. The formalised parking area with one-way access to the foreshore is a key feature of the design, providing a clear point of entry and exit for vehicles.

Large shaded outdoor seating area and shelter, located adjacent to the foreshore. This area is designed to provide a comfortable space for people to sit and enjoy the view of the water.

Formalised beach area, including a ramp and shelter. The formalised beach area is a central part of the design, providing a space for recreation and relaxation.

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Formalised beach area, including a ramp and shelter. The formalised beach area is a central part of the design, providing a space for recreation and relaxation.

**FIGURE 3.1**





## **4 Coastal Engineering Costing**

### **4.1.1 Introduction**

As per Section 2.6 of the RFT, concept designs and cost estimates for the Coastal Foreshore Protection Works have been prepared for the Preferred Option, Option 1B. The foreshore protection works concept drawings prepared for this Master Plan Report have been prepared based on the sea level changes forecast over the next 50 years as any projections for sea level changes extrapolated beyond this time contain too many uncertainties.

Three types of protective measures have been detailed for the Preferred Option:

- 1) Rock Armour to Headlands;
- 2) Placed concrete slabs to form stepped access to the water around the Headlands in addition to the concrete access ways for beach maintenance works;
- 3) Buried Rock Armour as located in **Figure 2.17**.

Refer to **Figure 4.1** for Typical Sections through the Revetment Structure Types.

A further drawing has been prepared which details the requirements for a typical Rock Structure which could be located to the northern end of Beresford Foreshore as shown in the Landscape Master Plan (Refer to **Figure 3.1**) which is based upon Option 3 (an extension of works for the Preferred Concept Design should Council have additional funding) as per **Figure 2.7**.

If increases in the projected sea levels are greater than current forecast, the design of the civil works associated with the Foreshore Protection has been specifically detailed to allow for the placement of further materials to increase the heights of the presented engineered protective devices in locations behind the current edge treatments for the two Headlands proposed at the southern end of Beresford Foreshore, and over the proposed Rock Structures as located at the northern end of Beresford Foreshore.

### **4.1.2 Initial construction details**

The Foreshore Protection Works Drawings show four (4 No.) types of protection measures as outlined in Section 3.1 Coastal Engineering Design. These four types of protective measures are as follows;

- 1) Placed rock forming a protective armour to the edges of the Headlands;
- 2) Placed pre-cast concrete slabs to provide stepped access to the water;
- 3) Buried rock armour under the beach dune edge to protect both the enhancement works behind the beach protection measures and the infrastructure works along Chapman Road; and
- 4) Rock structures which could be located at the northern end of Beresford Foreshore, subject to availability of finance.

**4.1.3 Initial cost estimates**

As outlined in the Section 2.2.1 Introduction, the current civil works structures associated with the Foreshore Protection have been designed to the protect against the projected sea level changes over the next 50 years. The Cost Estimate prepared is for the works associated with this 50 year time frame.

To implement the works as outlined in this report for both the Coastal Protection and Foreshore Enhancement works, the Initial Estimated Costs for the Capital works is \$25,406,103.60, while an ongoing \$240,000.00 will be required annually for the importation and placement of sand to replenish the foreshore.

Details of the costs are provided below:

ITEM	DESCRIPTION	QTY	UNIT	RATE	TOTAL
<b>1.0</b>	<b>EARTHWORKS</b>				
	<i>(Excludes Headlands)</i>				
1.1	Stripping and stockpiling of topsoil	66000	m <sup>2</sup>	\$1.00	\$66,000.00
1.2	Import, place and compact sand	60000	m <sup>3</sup>	\$10.00	\$600,000.00
1.3	Cut to fill (Bank measure)	15000	m <sup>3</sup>	\$3.00	\$45,000.00
1.4	Proof roll fill areas	66000	m <sup>2</sup>	\$0.50	\$33,000.00
1.5	Respreading of lopsoil	33000	m <sup>2</sup>	\$1.00	\$33,000.00
	<b>Sub Total</b>				<b>\$777,000.00</b>
<b>2.0</b>	<b>PAVED - TRAFFICABLE AREA</b>				
2.1	Subgrade preparation	5540	m <sup>2</sup>	\$5.00	\$27,700.00
2.2	<i>Pavement Construction (IPWEA)</i>				
2.2.1	200mm limestone compacted basecourse	5540	m <sup>2</sup>	\$10.00	\$55,400.00
2.2.2	40mm asphalt (thick lift)	5540	m <sup>2</sup>	\$80.00	\$443,200.00
2.2.3	25mm black asphalt	5540	m <sup>2</sup>	\$65.00	\$360,100.00
2.2.4	Tie in with existing pavements	8	No	\$5,000.00	\$40,000.00
2.3	Testing				
2.3.1	NATA compaction testing	1	No.	\$7,500.00	\$7,500.00
2.3.2	NATA materials quality testing (incl. concrete)	1	No.	\$7,500.00	\$7,500.00
2.4	Kerbing				
2.4.1	Standard kerb (adjacent to bituminous concrete)	1530	lin/m	\$25.00	\$38,250.00
2.5	Verge Grading	1530	lin/m	\$7.50	\$11,475.00
	<b>Sub Total</b>				<b>\$991,125.00</b>
<b>3.0</b>	<b>STORMWATER DRAINAGE</b>				
3.1	Excavation in all materials, backfilling, compaction de-watering (as deemed necessary)	600	lin/m	\$25.00	\$15,000.00
3.2	Pipe - supply, lay and bed	900	lin/m	\$60.00	\$54,000.00
3.3	Drainage pit complete - Dia 1050 liner	17	No.	\$2,500.00	\$42,500.00
3.4	Headwall and stone pitching	3	No.	\$7,500.00	\$22,500.00
3.5	Independent NATA compaction testing	1	No.	\$7,500.00	\$7,500.00
	<b>Sub Total</b>				<b>\$141,500.00</b>
<b>4.0</b>	<b>PATHWAYS</b>				
4.1	Subgrade preparation	13550	m <sup>2</sup>	\$5.00	\$67,750.00
4.2	Pathways (100mm concrete)				
4.2.1	1.5 metre single use pathway	2900	lin/m	\$105.00	\$304,500.00
4.2.2	4.0 metre dual use pathway	2300	lin/m	\$300.00	\$690,000.00
	<b>Sub Total</b>				<b>\$1,062,250.00</b>
<b>5.0</b>	<b>HEADLANDS AND STRUCTURES</b>				
5.1	<i>Southern Headland</i>				



## Beresford Foreshore Coastal Protection and Enhancement–Master Plan Report

*Prepared for City of Greater Geraldton*

5.1.1	Importation and placement of rocks (1.4t/unit) (Estimated volume required 3100m <sup>3</sup> )	8100	t	\$95.00	\$769,500.00
5.1.2	Importation and placement of rocks (0.5t/unit) (Estimated volume required 2900m <sup>3</sup> )	7500	t	\$95.00	\$712,500.00
5.1.3	Supply and install Geotextile Bidum A39	3000	m <sup>2</sup>	\$65.00	\$195,000.00
5.1.4	Stripping and stockpiling of topsoil	7700	m <sup>2</sup>	\$1.00	\$7,700.00
5.1.5	Import, place and compact sand	35000	m <sup>3</sup>	\$10.00	\$350,000.00
5.1.6	Proof roll fill areas	7700	m <sup>2</sup>	\$0.50	\$3,850.00
5.1.8	Respreading of topsoil	4000	m <sup>2</sup>	\$1.00	\$4,000.00
<b>5.2 Northern Headland</b>					
5.2.1	Importation and placement of rocks (1.4t/unit) (Estimated volume required 3100m <sup>3</sup> )	8100	t	\$95.00	\$769,500.00
5.2.2	Importation and placement of rocks (0.5t/unit) (Estimated volume required 2900m <sup>3</sup> )	7500	t	\$95.00	\$712,500.00
5.2.3	Supply and install Geotextile Bidum A39	3000	m <sup>2</sup>	\$65.00	\$195,000.00
5.2.4	Stripping and stockpiling of topsoil	7700	m <sup>2</sup>	\$1.00	\$7,700.00
5.2.5	Import, place and compact sand	35000	m <sup>3</sup>	\$10.00	\$350,000.00
5.2.6	Proof roll fill areas	7700	m <sup>2</sup>	\$0.50	\$3,850.00
5.2.8	Respreading of topsoil	4000	m <sup>2</sup>	\$1.00	\$4,000.00
<b>5.3 Southern Rock Structure</b>					
5.3.1	Importation and placement of rocks (1.1t/unit) (Estimated volume required 3400m <sup>3</sup> )	8800	t	\$95.00	\$836,000.00
5.3.2	Importation and placement of rocks (0.5t/unit) (Estimated volume required 4900m <sup>3</sup> )	12800	t	\$95.00	\$1,216,000.00
<b>5.4 Northern Rock Structure</b>					
5.4.1	Importation and placement of rocks (1.1t/unit) (Estimated volume required 3400m <sup>3</sup> )	4900	t	\$90.00	\$441,000.00
5.4.2	Importation and placement of rocks (0.5t/unit) (Estimated volume required 4900m <sup>3</sup> )	7300	t	\$90.00	\$657,000.00
<b>5.5 Buried Armour</b>					
	Importation and placement of rocks (0.6t/unit) (Estimated volume required 10000m <sup>3</sup> )	26000	t	\$95.00	\$2,470,000.00
	Importation and placement of rocks (0.5t/unit) (Estimated volume required 3400m <sup>3</sup> )	8800	t	\$95.00	\$836,000.00
	Supply and install Geotextile Bidum A39	11700	m <sup>2</sup>	\$65.00	\$760,500.00
<b>Sub Total</b>					<b>\$11,301,600.00</b>
<b>6.0 HARD LANDSCAPE WORKS (Structures&amp; Street Furniture)</b>					
	Toilet Block	1	No	\$260,000.00	\$260,000.00
	Shade Structures	11	No.	\$45,000.00	\$495,000.00
	Children's Playground	1	No.	\$250,000.00	\$250,000.00
	Barbeques (Electric)	6	No.	\$12,000.00	\$72,000.00
	Bench seats	20	No.	\$2,500.00	\$50,000.00
	Table settings	11	No.	\$5,000.00	\$55,000.00
	Rubbish bins	10	No.	\$3,500.00	\$35,000.00
	Bollards - fixed	20	No.	\$1,000.00	\$20,000.00
	Bollards - removable	12	No.	\$1,500.00	\$18,000.00
	Bicycle racks	20	No.	\$1,000.00	\$20,000.00
	Drinking Fountains	6	No.	\$5,500.00	\$33,000.00
	Beach showers	7	No.	\$12,500.00	\$87,500.00
<b>Sub Total</b>					<b>\$1,395,500.00</b>
<b>7.0 SOFT LANDSCAPE WORKS</b>					
<b>7.1 Mass Planting Beds</b>					
7.1.1	Preparation of mass planting beds to include:	54900	m <sup>2</sup>	\$30.00	\$1,647,000.00

## Beresford Foreshore Coastal Protection and Enhancement–Master Plan Report

Prepared for City of Greater Geraldton

	excavation (300mm depth) & stockpiling of existing soil, cultivation to base of excavated planting areas, amelioration of site soils and installation into planting beds				
7.1.2	Supply and installation of trees - 100 litre	150	No.	\$250.00	\$37,500.00
7.1.3	Supply and installation of trees - 45 litre	250	No.	\$125.00	\$31,250.00
7.1.4	Supply and installation of shrubs - tubestock (Average 2 per m <sup>2</sup> )	109800	No.	\$5.00	\$549,000.00
7.1.5	Supply and installation of groundcovers - tubestock (Average 9 per m <sup>2</sup> )	494000	No.	\$5.00	\$2,470,000.00
7.1.6	Supply and installation of mulch	54900	m <sup>2</sup>	\$12.50	\$686,250.00
<b>7.2</b>	<b>Turfing works</b>				
7.2.1	Preparation of mass planting beds to include: excavation (100mm depth) & stockpiling of existing soil, cultivation to base of excavated planting areas, amelioration of site soils and installation into planting beds	24750	m <sup>2</sup>	\$15.00	\$371,250.00
7.2.2	Supply and place turf	24750	m <sup>2</sup>	\$12.50	\$309,375.00
<b>7.3</b>	<b>Maintenance Works</b>				
7.3.1	Mass planting areas	12	Wk	\$7,500.00	\$90,000.00
7.3.2	Turf areas	12	Wk	\$7,500.00	\$90,000.00
	<b>Sub Total</b>				<b>\$6,281,625.00</b>
<b>8.0</b>	<b>PRELIMINARIES</b>				
8.1	Preliminaries (3.0% OF Estimated Construction Value)				\$616,653.00
	<b>Sub Total</b>				<b>\$616,653.00</b>
<b>9.0</b>	<b>CONTINGENCY</b>				
9.1	Contingency (20%)				\$4,234,350.60
	<b>Sub Total</b>				<b>\$4,234,350.60</b>
<b>10.0</b>	<b>TOTAL CONSTRUCTION COST</b>				<b>\$25,406,103.60</b>
	(NOTE: GST HAS NOT BEEN INCLUDED IN THIS COST ESTIMATE)				
<b>11.0</b>	<b>FORESHORE REPLENISHMENT</b>				
	Annual importation and placement of sand to replenish foreshore	24000	m <sup>3</sup>	\$10.00	\$240,000.00
	<b>Subtotal</b>				<b>\$240,000.00</b>

## Beresford Foreshore Coastal Protection and Enhancement–Master Plan Report

Prepared for City of Greater Geraldton

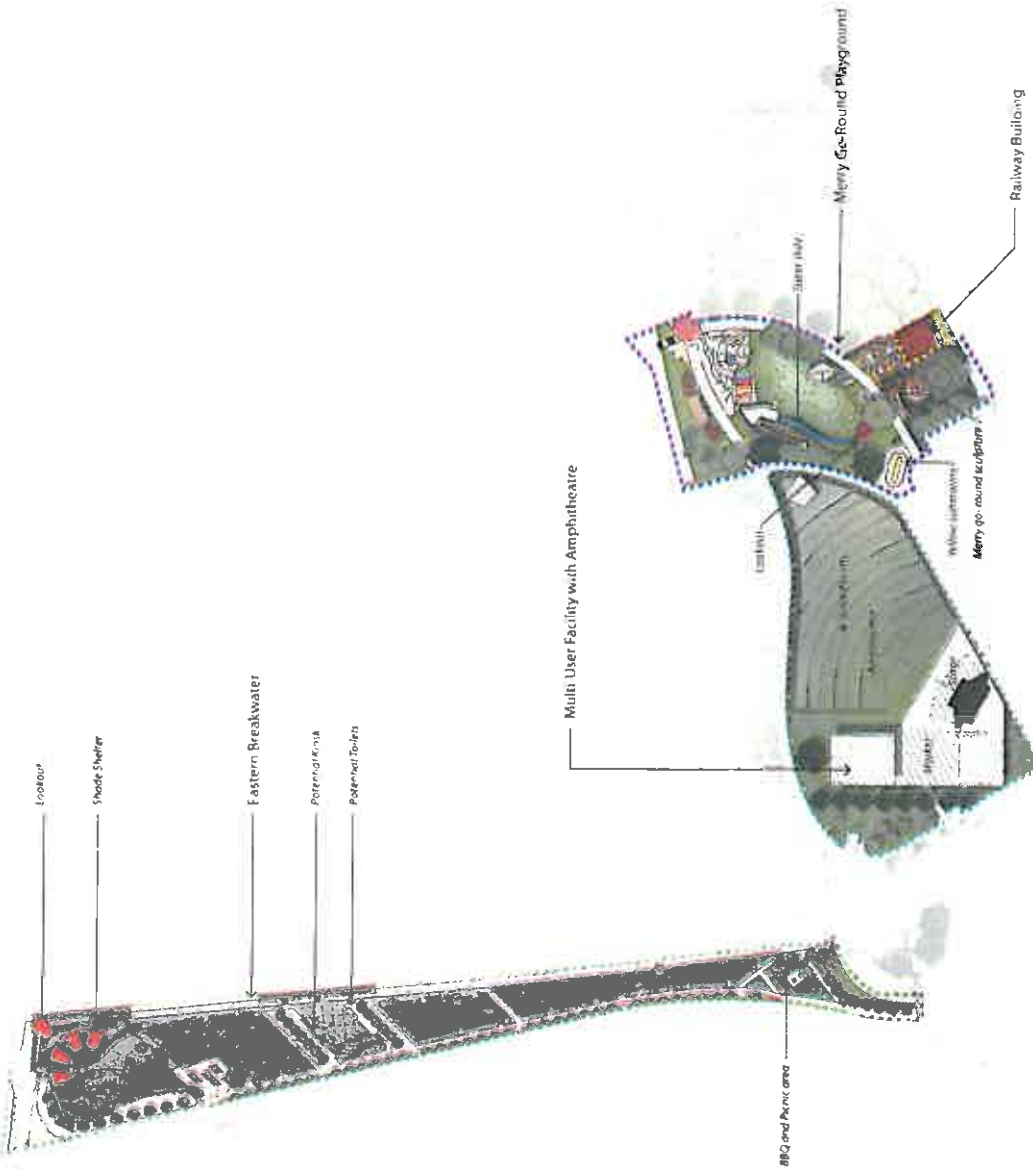
NOTE: This Cost Estimate is based upon 2011/2012 Construction Rates. Should there be delays in commencing these works, an annual 3.5% cost increase allowance should be made in line with current CPI increases. Projected Capital Works increases annually for the next five years and in ten years are as follows:

Financial Year	Revised Cost Estimate
2012 / 2013	\$26,295,316
2013 / 2014	\$27,215,652
2014 / 2015	\$28,168,199
2015 / 2016	\$29,154,085
2016 / 2017	\$30,174,477
2021 / 2022	\$35,837,810



Legend

- Proposed Tree
- Dune Planting (non-irrigated)
- Shrub Planting (irrigated)
- Turf
- Sensory Garden
- Proposed Contours
- Timber Boardwalk & Jetty Structure
- Permatrak Concrete Boardwalk
- Bitumen Stabilised Limestone
- Crushed Limestone Gravel
- Broomed Concrete Paving - Light Grey
- Exposed Aggregate and Trafficable Concrete Paving
- Dune Access Path
- Limestone Spalling
- Limestone Walls
- Lookouts
- Shelters
- Temporary Protective Dune Fencing (post & wire with hessian)
- Furniture BBQ
- Timber Lights Light Bollards Pole Top Lights Litter Bin
- Potential Vertical Artwork Locations
- Flag Poles

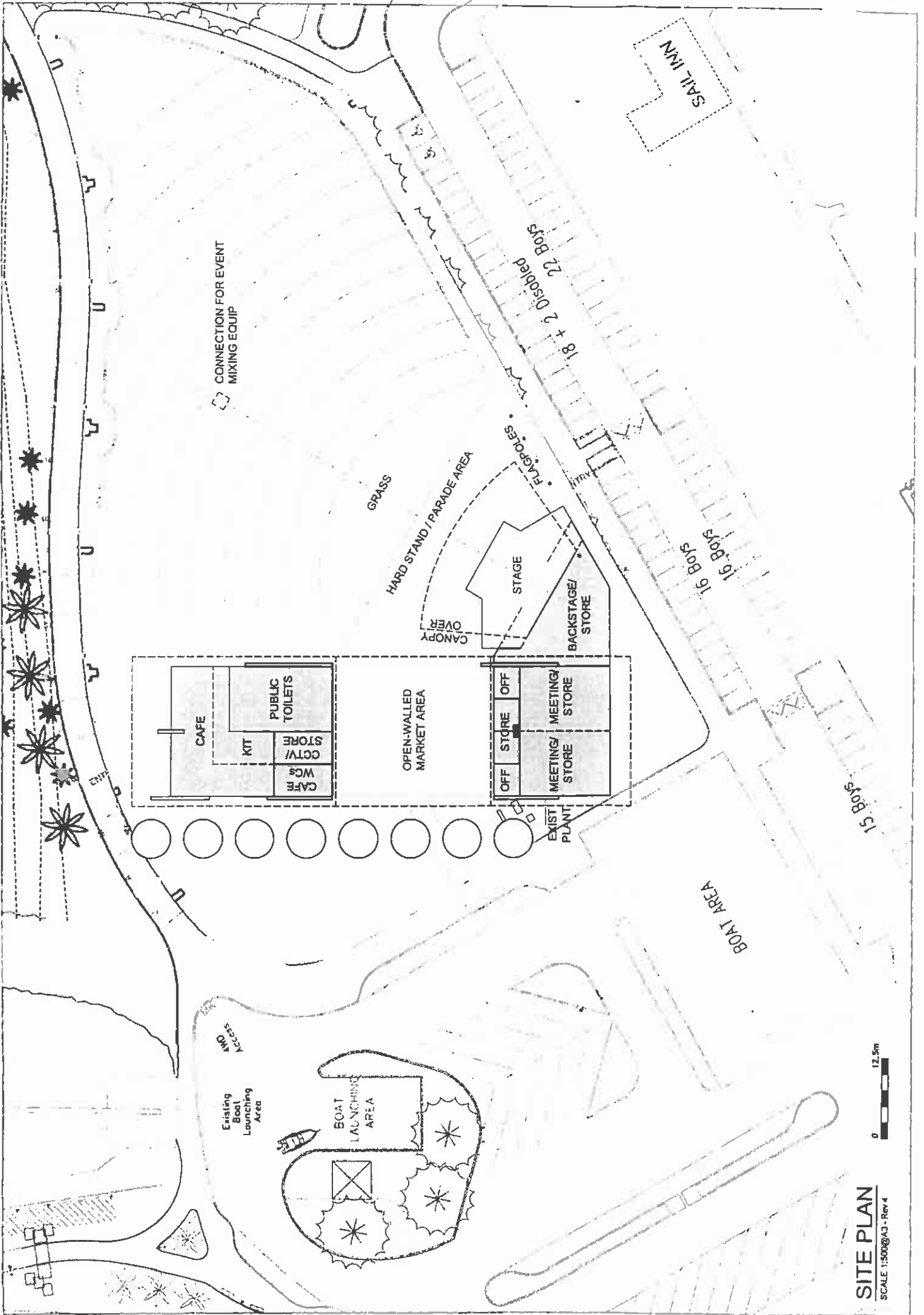


Marine Tce

Francis St

Ian Bogle Rd





**SITE PLAN**  
SCALE 1:500@A3 - Rev 4

### GENERAL NOTES

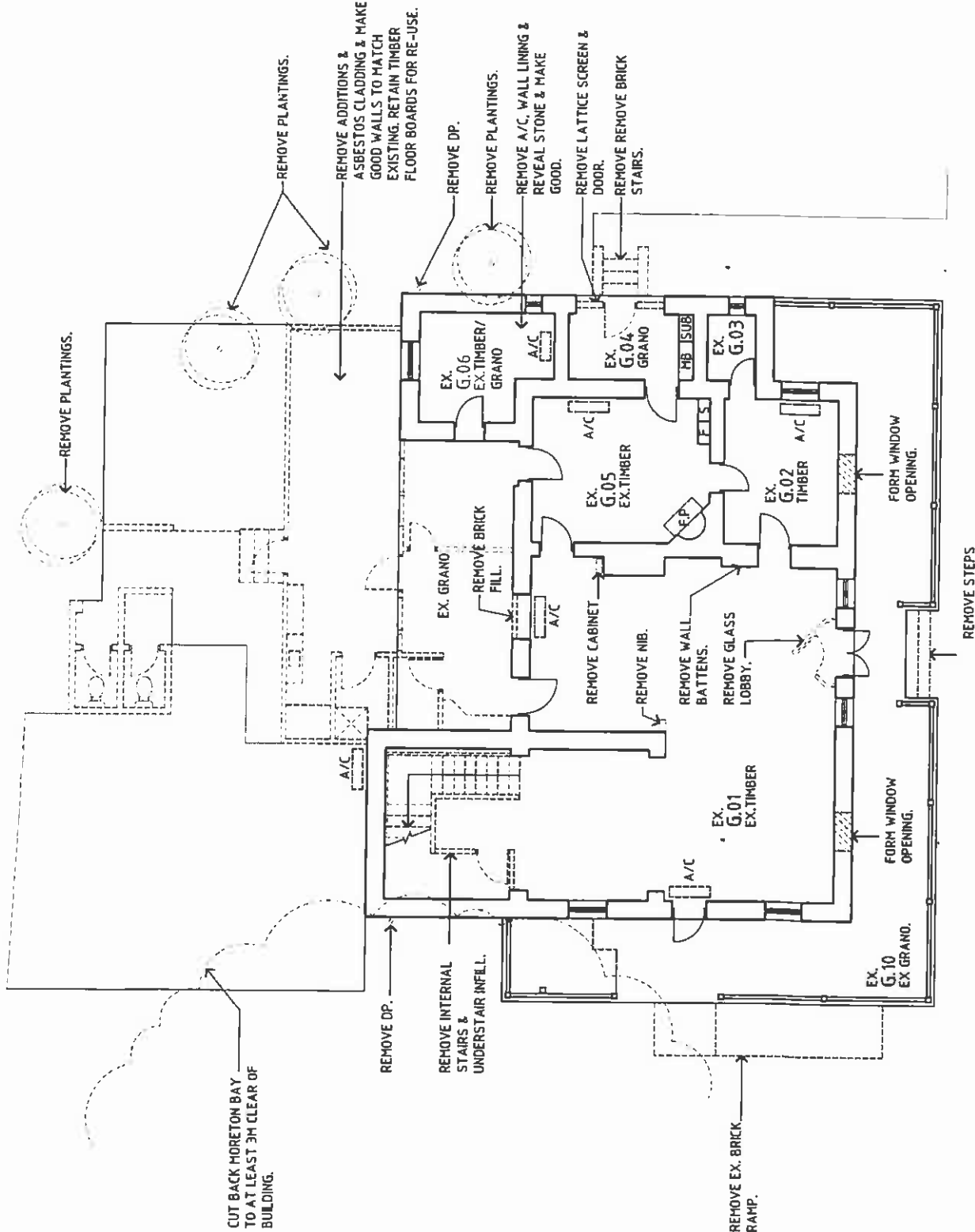
1. STRIP OUT CABLES, SWITCHING AND THE LIKE & RE-SERVICE.
2. STRIP OUT A/C COMPLETE AND MAKE GOOD.
3. RETAIN FIRE INDICATOR PANEL AND ENSURE IN WORKING ORDER FOR ONGOING USE AFTER WORKS.
4. RETAIN SECURITY SYSTEM.
5. MAINTAIN TERMITE BARRIER.
6. STRIP OUT LIGHTING TO INTERIOR & EXTERIOR & REPLACE.
7. REPAIR ALL EXTERNAL DOORS & WINDOWS TO OPERATING CONDITION. RE-ROPE SASHES & REPAIR ON COMPLETION.

8. NEW DOOR HARDWARE THROUGHOUT.
9. REMOVE CEILING FANS & MAKE GOOD.
10. RETAIN & REPAIR ALL CEILING, WALL & SUB FLOOR VENTS.
11. REPAIR TIMBER FLOORS IN ROOMS (6.5" X 2.5" BOARDS) AND ALLOW UP TO 15% REPLACEMENT. MAKE 500 X 600 FLOOR TRAPS IN EACH ROOM.
12. FIT 50 QUADS IN ALL ROOMS.
13. RETAIN SHELVES IN G.04 & G.05.
14. REMOVE DUCT IN G.05 AND MAKE GOOD WALL.
15. REPLACE MISSING SKIRTING IN G.03.
16. REMOVE ALL SHUTTERS.
17. ALLOW TO FIT NEW TIMBERS BETWEEN EACH FLOOR JOIST AT BOTH LEVELS. MINGRIP TO JOISTS, THEN BOLT NEW TIMBER TO WALLS WITH M12 HILTI HY20 ANCHORS.

18. DE-RUST ALL LINTELS. TREAT & REPAINT.
19. REPAIR ALL RISING-DAMP AFFECTED RENDER & MAKE GOOD. ALLOW FOR 20m<sup>2</sup> THROUGHOUT.

### ABBREVIATIONS/KEY

- EX. EXISTING
- DP. DOWN PIPE
- FP. FIREPLACE
- SB. REMOVE SUB BOARD.
- SW. REMOVE SWITCH PANEL
- MB. REMOVE METER BOX & REINSTALL WITH MODERN EQUIVALENT.
- [---] A/C REMOVE A/C UNIT & MAKE GOOD



**GROUND FLOOR DEMOLITION PLAN**  
SCALE 1:100 @ A3

Geraldton Railway Station  
CONSERVATION WORKS  
Marine Terrace, Geraldton

Griffiths Architects



ISSUED TO: 07/02/2017  
NO. REVISED: 35



DATE: FEB 2017  
SCALE: 1:100 @ A3  
DRAWN: 12/13  
REV: p0

PROJECT: GERALDTON RAILWAY STATION CONSERVATION WORKS  
DRAWN BY: GRAHAM HAYES  
CHECKED BY: JIM WELLS  
DATE: FEB 2017

### GROUND FLOOR DEMOLITION PLAN

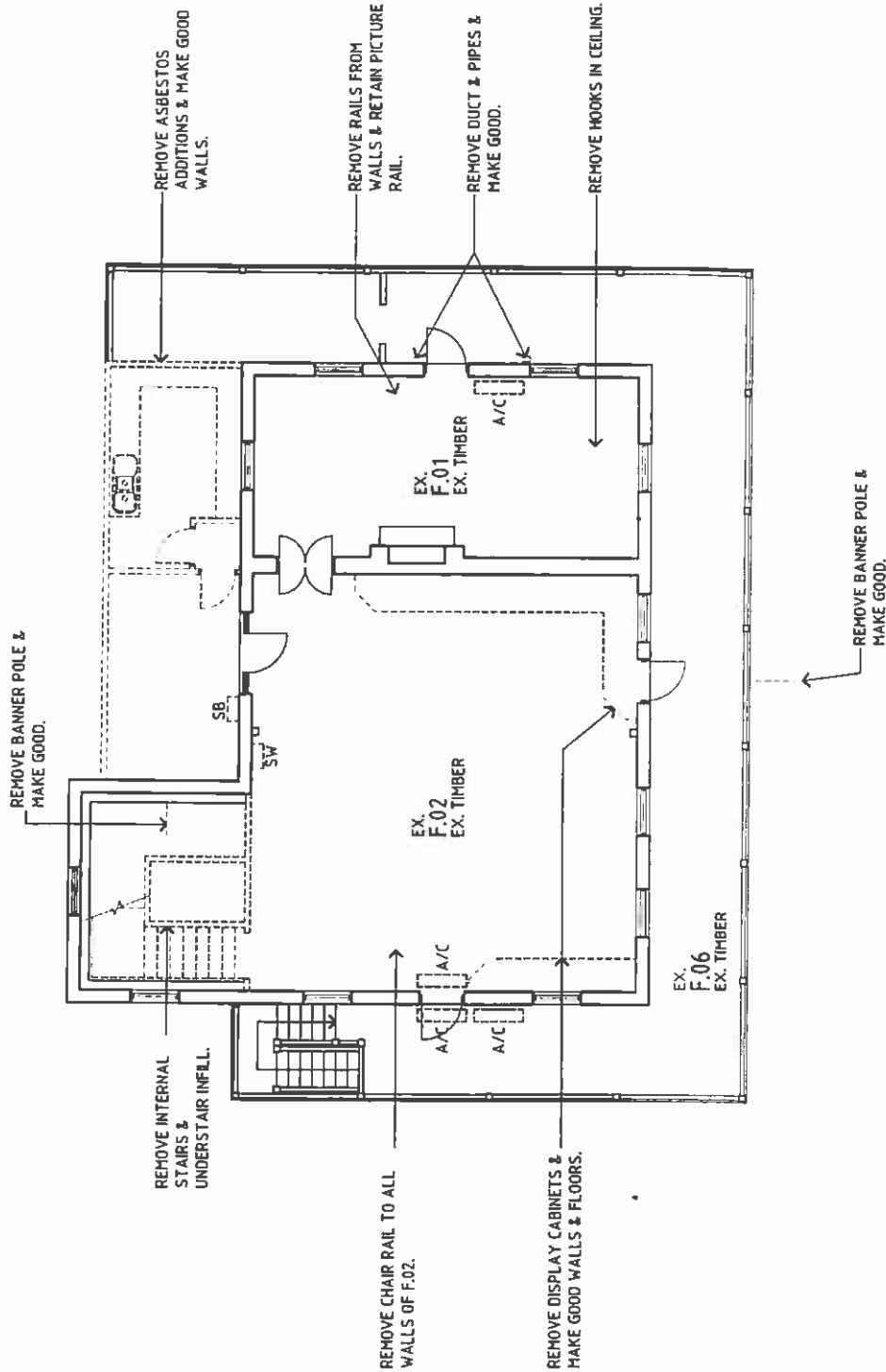
A1.01

### GENERAL NOTES

1. STRIP OUT CABLES, SWITCHING AND THE LIKE & RE-SERVICE.
2. STRIP OUT A/C COMPLETE AND MAKE GOOD.
3. RETAIN FIRE INDICATOR PANEL AND ENSURE IN WORKING ORDER FOR ONGOING USE AFTER WORKS.
4. RETAIN SECURITY SYSTEM.
5. MAINTAIN TERMITE BARRIER.
6. STRIP OUT LIGHTING TO INTERIOR & EXTERIOR & REPLACE.
7. REPAIR ALL EXTERNAL DOORS & WINDOWS TO OPERATING CONDITION. RE-ROPE SASHES & REPAIR ON COMPLETION.
8. NEW DOOR HARDWARE THROUGHOUT.
9. REMOVE CEILING FANS & MAKE GOOD.
10. RETAIN & REPAIR ALL CEILING, WALL & SUB FLOOR VENTS.
11. REPAIR TIMBER FLOORS IN ROOMS 6.5" X 1" BOARDS AND ALLOW UP TO 10% REPLACEMENT. MAKE 500 X 600 FLOOR TRAPS IN EACH ROOM.
12. REPAIR TIMBER FLOOR BOARDS 5.5" x 1" AND ALLOW UP TO 15% REPLACEMENT. MAKE 500 X 600 FLOOR TRAPS IN EACH ROOM.
13. FIT 50 QUADS IN ALL ROOMS.
14. REMOVE ALL SHUTTERS.
15. ALLOW TO FIT NEW TIMBERS BETWEEN EACH FLOOR JOIST AT BOTH LEVELS. MINGRIP TO JOISTS, THEN BOLT NEW TIMBER TO WALLS WITH M12 MILTI HY20 ANCHORS.
16. DE-RUST ALL LINTELS. TREAT & REPAINT.
17. REPAIR ALL RISING-DAMP AFFECTED RENDER & MAKE GOOD. ALLOW FOR 20m<sup>3</sup> THROUGHOUT.

### ABBREVIATIONS/KEY

- EX. EXISTING
- DP. DOWN PIPE
- FP. FIREPLACE
- SB. REMOVE SUB BOARD.
- SW. REMOVE SWITCH PANEL
- MB. REMOVE METER BOX & REINSTALL WITH MODERN EQUIVALENT.
- [---] A/C REMOVE A/C UNIT & MAKE GOOD



**FIRST FLOOR DEMOLITION PLAN**  
SCALE 1:100 @ A3

**GERALDTON RAILWAY STATION**  
CONSERVATION WORKS  
Marnie Terrace, Geraldton

**Carrifrons Architects**

PROJECT NO: 1000  
DATE: 07/02/2012  
SCALE: 1:100 @ A3  
JOB NO: 12113  
REV: p0

**FIRST FLOOR DEMOLITION PLAN**

ISSUED TO: DS  
NO. REVISION

DATE: 07/02/2012

DATE: FEB 2012

SCALE: 1:100 @ A3

JOB NO: 12113

REV: p0

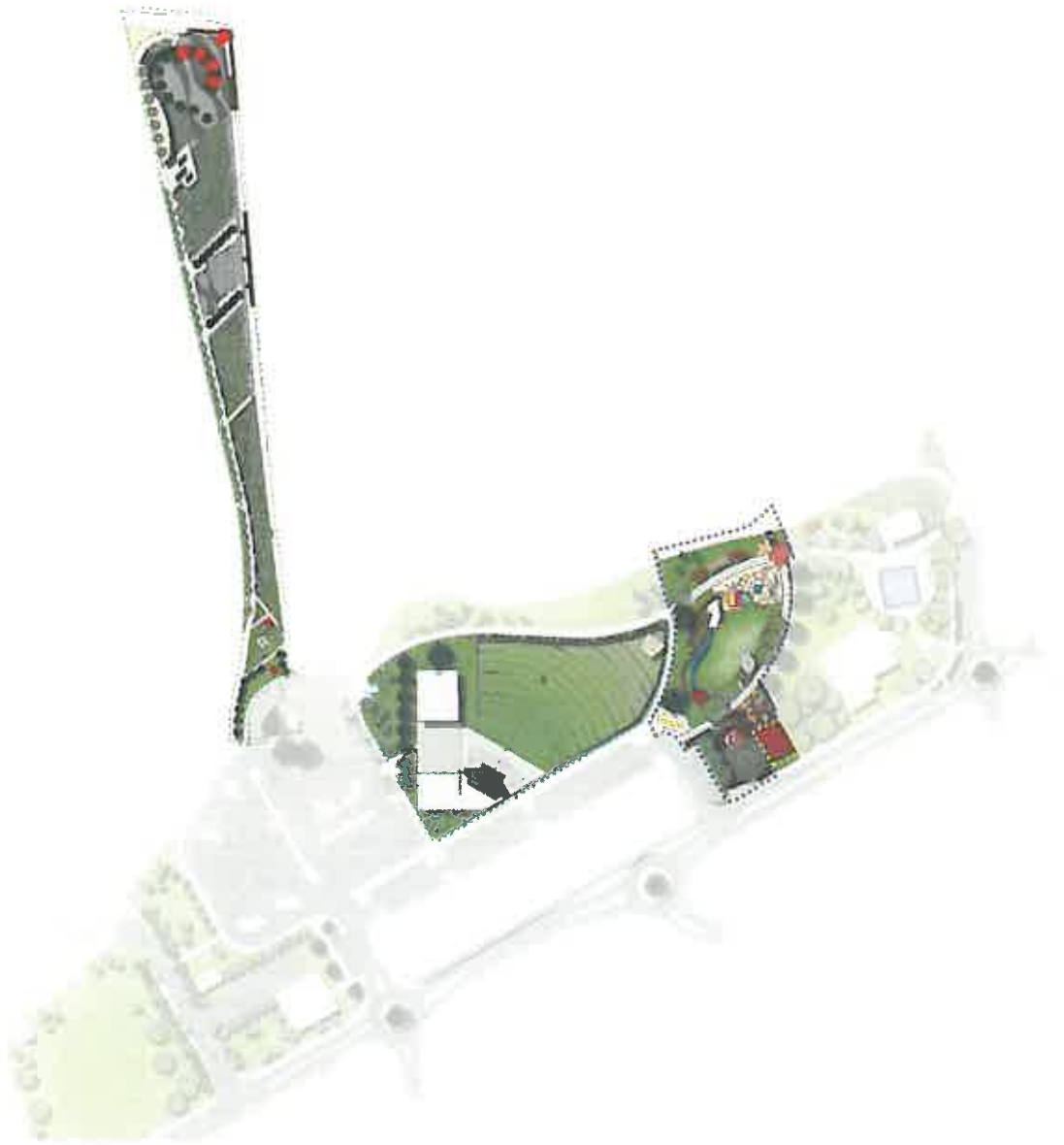
PROJECT: CONSERVATION WORKS - GERALDTON RAILWAY STATION

DATE: 07/02/2012

SCALE: 1:100 @ A3

JOB NO: 12113

REV: p0



## West End and Entertainment Precinct Revitalisation



Prepared by Blackwell & Associates for the City of Greater Geraldton in collaboration with Griffiths Architects and Ralph Beattie Bosworth

Revision number: D

Date: 15<sup>th</sup> February 2012



## INTRODUCTION

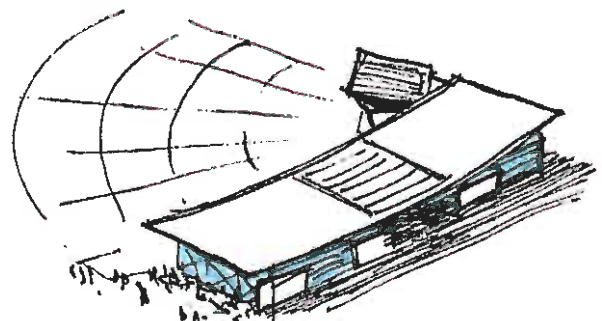
The City of Greater Geraldton has proposed the development of four major projects around the western end of the foreshore precinct. The purpose of this report is to consolidate the four projects (including one that is currently under documentation for tender in March 2012) into a Concept Master Plan and provide an indication of budget and program.

The four projects listed in the order they appear below are:

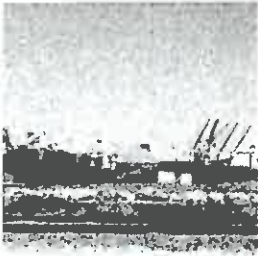
- Geraldton Eastern Breakwater;
- Geraldton Merry Go Round Concept and Playground;
- Geraldton Railway Station Heritage Works; and
- Geraldton Multi-Function Centre.

The consultants received preliminary studies, past reports and background information from the City and used these to further develop the briefs and scope of work documents in order to accurately provide the required data. Some data provided has been completed by other consultants; we have endeavoured to retain the original intent of the proposal when this has occurred. Further information on these projects should be sought from the original author.

Appended to this report are detailed costings.







## GERALDTON EASTERN BREAKWATER

### INTRODUCTION

Constructed in 2003, the breakwater structure serves as a rail shunting and loading area with approximately half the land being leased to the City of Greater Geraldton for use as a public open space. This land is expected to be developed by the City in 2012. A concept Master Plan was undertaken in 2010 by Blackwell and Associates which seeks to provide amenity and interest to this isolated and exposed site and attract greater use of the neglected western shores.

In July 2011, Minister Brendon Grylls announced that funds from Royalties for Regions would be allocated in addition to funds being provided by Geraldton Port Authority and the City to enable the construction of the concept.

In December 2011, Blackwell and Associates were again contracted to undertake the production of construction drawings which are currently underway. A team of consultants is currently documenting these works in accordance with the program below.

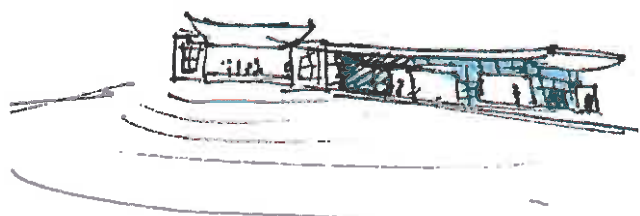
### PROGRAM

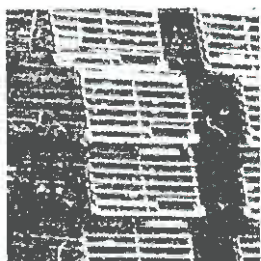
A preliminary program to undertake the full scope of works for this project is as follows:

<b>Geraldton Eastern Breakwater – Expected Program</b>	
Design Development and Documentation	2.5 months (due March 12th, 2012)
Tender and Award	1 month
Construction	9 months
<b>TOTAL</b>	<b>12.5 months</b>

### BUDGET

Refer to Appendices for a detailed breakdown.





## GERALDTON MERRY GO ROUND CONCEPT AND PLAYGROUND

### INTRODUCTION

The Merry Go Round structure on Geraldton foreshore is an historic and popular local structure that has been enjoyed by many generations of Geraldton locals and tourists alike. Made famous by a 1965 novel, *Merry Go Round by the Sea* by Randolph Stow, the item is no longer structurally sound or compliant with current safety standards and in 2010 it was converted into a fixed structure in order to save it from removal.

Greg Rowe and Associates were engaged to run a series of community workshops to develop a concept for the retention of the structure. Due to structural, legal and safety limitations, it was concluded that retaining the structure for its original purpose would not be achievable and instead concepts were to be sought to retain it in a new format.

Pullyblank Landscape Architects were engaged to produce concept plan options for a play area and Merry Go Round artwork, incorporating a new swing as an 'in kind' replacement. Further information on this project should be sought from the designer and project team.

Refer to Appendices for concept plans and elevations by Pullyblank Pty Ltd.

### PROGRAM

A preliminary program to undertake the full scope of works for this project is as follows:

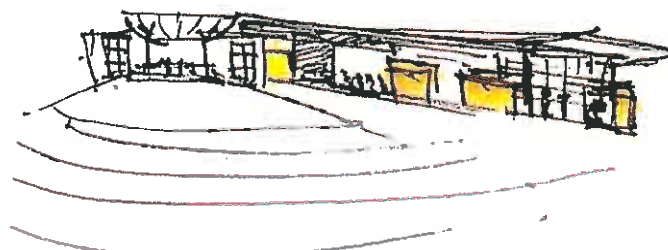
<b>Geraldton Merry Go Round and Playground Concept – Expected Program</b>	
Finalise Schematic Design	1 month
Design Development	2 months
Approvals (DA)	1 months
Documentation	4 months
Tender and Award	1 month
Construction	9 months
<b>TOTAL</b>	<b>18 months</b>

### BUDGET

Pullyblank provided preliminary costing for their proposal. This has been reviewed by this report's authors and attached. We believe that this budget would be adequate based upon the concept documents provided and our understanding of the works involved with the following exceptions:

- a regional allowance for 110% loading has not been applied to the total;
- the large, disabled access ramp to the feature slide has not been incorporated into the budget and is likely to represent a significant sum outside the funding allowance;
- preliminary community feedback requests removal of the ramp and sea platform and if removed, these costs are offset by an expected increase in demolition, earthwork and playground costs. No changes have been incorporated into the concept plan to reflect the results of community consultation as these results have yet to be compiled and distributed.

Refer to Appendices for a detailed breakdown.





## GERALDTON RAILWAY STATION HERITAGE WORKS

### INTRODUCTION

The original Geraldton Railway Station building (1879) was the first railway station to be constructed in Geraldton, serving the first Government Railway in the State, between Geraldton to Northampton. It was a single-story, stone building with a shingle roof. After the main wharf in Geraldton was relocated the building became redundant as a railway station, and in 1893 a new station was built opposite the Geraldton Courthouse. After being used by the Customs Department for a short period, it was occupied by the Geraldton's Mechanic's Institute from 1900 until 1967, and during their tenure (in 1909) the original railway station was significantly enlarged with the addition of a second story and verandahs. The Geraldton branch of the WA Museum used the premises from 1979 until 2000, at which time it was vacated.

A conservation plan was produced for the building in 2007. However, the recommended works were not carried out. Since it was vacated in 2000, the building has suffered from vandalism and is now boarded up.

The required works outlined in this report are divided into two priorities. Those works required to get the building to a condition where it can be leased, and those that are required but not essential for leasing purposes. As the building is intended to be leased the priority of works within the first group have not been further itemised, however the following priority order would be followed, from most important to least:

- works required to protect the structural integrity of the building,
- works required to keep out moisture and prevent further deterioration,
- reinstatement of services,
- BCA and safety requirements, and
- the aesthetic condition of the building and alterations to ensure the heritage authenticity of the building.

It should be noted that the first four of these priorities would be required regardless of whether the building was to be leased commercially or internally by a City department, and the difference between the works required for these two eventualities would be minimal.

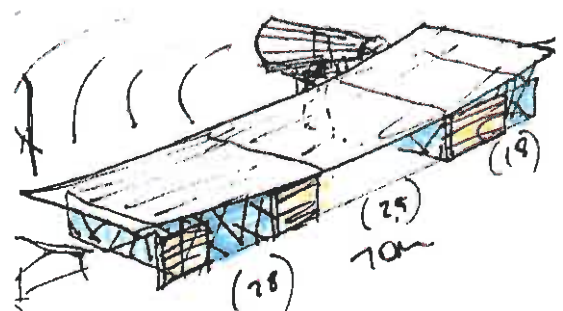
### PROGRAM

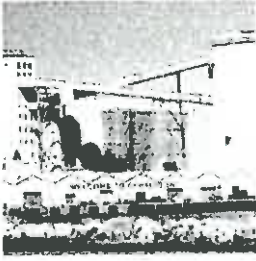
The program below has been provided as an indication of the expected timeframes for the works.

<b>Geraldton Railway Station – Expected Program</b>	
Scope Drawings for Sign Off	1 month
Approvals (DA)	1 month
Design Development and Documentation	3.5 months
Tender and Award	1 month
Construction	6 months
<b>TOTAL</b>	<b>12.5 months</b>

### BUDGET

Refer to Appendices for a detailed breakdown.





## GERALDTON MULTI-FUNCTION CENTRE

### BRIEF

The original brief called for a café/restaurant, beachside deck area, multi-user facility, public toilets, visitor centre and sound stage. The City has since reduced the scope somewhat and removed the visitor centre from the brief as well as reducing the size of the café/restaurant. The need for a conference centre has also been reviewed and the brief now calls for a series of flexible meeting rooms.

The principal required spaces are now the:

- sound shell;
- café;
- public facilities including toilets for 4000 event attendees;
- meeting rooms including club facilities; and a
- covered area for markets.

### DESIGN

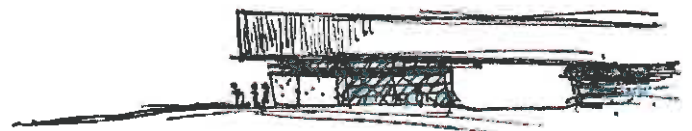
The Multi-Function Centre is intended to be a flexible building that caters to a range of public, commercial and community users. The plans and sketches contained in this report are intended to establish a broad scope for costing and funding purposes. There will be a wide range of issues to consider at sketch design stage and the internal planning of the building is at this stage indicative only. Formalisation of the architectural brief will be the first task.

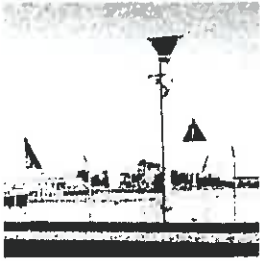
The design as drawn is reminiscent of a converted industrial building. It is linear in plan and would be expected to be relatively transparent when viewed from the east or west. Sunshading would be required for any glazing facing west, and the windows on the west have been kept to a high level as much as possible to protect them from this afternoon heat load.

The café faces out to the ocean view, and would be raised slightly above natural ground level to ensure that this view is maximised. Public toilets are located so that they are available both to visitors to the covered market area and the grassed area and café. They will also be able to be kept within a secure zone if ticketed events are planned for the sound shell area. The open-walled market area is expected to be shaded, possibly under a continuation of the main building roof. Trees are shown to the west to protect the market area from prevailing winds. The southern end of the building is intended to be a collection of meeting areas, storage areas, and associated offices for the use of community groups. The meeting areas may be openable into one large space depending on the expected usage groups for the spaces.

A shell structure sits at the south east corner of the main building and faces out to the main grassed area. The shell is drawn as connected to the main building, however as they are likely to be two different functional spaces it is possible that the shell may be moved away from the building during sketch design. An acoustic engineer would be required to advise on the profile of the structure for acoustic reasons.

A 'Front-of-House' Mixing Point has been shown on the plans. This will consist of a floor hatch set into the ground so that its top surface is level with the surrounding ground, and enclosed with a lockable lid. Electrical cables will run from the stage area through in-ground conduits and would terminate at the Mixing Point. When a front-of-house mixing desk is required for an event, a temporary structure (probably from scaffolding-type structure) would be constructed over this hatch, and the desk would be connected to the conduits and cables that lead from the stage area to the hatch. An acoustic engineer would advise on the final location and services required.





## PROGRAM

The program below has been provided as an indication of the expected timeframes for the works.

<b>Geraldton Multi-Function Centre – Expected Program</b>	
Schematic Design and Consultation	2 months
Design Development	2 months
Approvals (DA)	2 months
Documentation	3 months
Tender and Award	1 month
Construction	8 months
<b>TOTAL</b>	<b>18 months</b>

## BUDGET

Refer to Appendices for a detailed breakdown.



## PROJECT TEAM

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The consultant team for this project was:

### LANDSCAPE ARCHITECTURAL CONSULTANT:

**Blackwell & Associates Pty Ltd**  
550 Stirling Highway  
Peppermint Grove WA 6011

### ARCHITECTURAL CONSULTANT:

**Griffiths Architects**  
177 York Street  
Subiaco WA 6008

### QUANTITY SURVEYING:

**Ralph Beattie Bosworth**  
Mark Hampson  
12 Kings Park Road  
West Perth WA 6005





Description	Unit	Quantity	Rate	Extension
<b>Preliminaries</b>				
Preliminaries & establishment	%	1	6,291,000	\$6,291,000
<b>Sub-Total</b>				<b>\$6,291,000</b>
<b>Earthworks &amp; Revetment Upgrade</b>				
Clear site	m2	7,962	\$0.00	\$0.00
Topsoil strip to stockpile	m2	7,962	\$1.50	\$11,943
Compaction of base (planting areas)	m2	3,217	\$1.00	\$3,217
Compaction of base (300 thick road base areas)	m2	2,021	\$1.80	\$3,638
Compaction of base (1000 thick road base areas)	m2	489	\$1.80	\$880
Compaction of base (structural fill areas)	m2	2,744	\$1.80	\$4,939
Finishing to planting areas (clean fill)	m3	3,217	\$12.00	\$38,604
Road base (200 thick)	m3	606	\$35.50	\$21,513
Road base (1m thick)	m3	489	\$35.50	\$17,350
Structural fill	m3	2,744	\$50.00	\$137,200
Biocell geogrid (on base)	m2	2,744	\$8.00	\$21,952
Biocell geogrid (on fill)	m2	2,744	\$9.00	\$24,696
Revetment Upgrade	item	1	\$210,000.00	\$210,000
<b>Sub-Total</b>				<b>\$488,637</b>
<b>Decks &amp; Boardwalks</b>				
Supply & install hardwood timber boardwalks and jetties	sq m	200	\$6,500.00	\$1,300,000
Supply & install perimeter boardwalk	ln m	20	\$800.00	\$16,000
<b>Sub-Total</b>				<b>\$1,316,000</b>
<b>Structures</b>				
Supply & install large iconic shelter	ea	1	\$4,120,000.00	\$4,120,000
Supply & install lookout structure	ea	1	\$338,000.00	\$338,000
<b>Sub-Total</b>				<b>\$750,000</b>
<b>Walls</b>				
Supply & install recon limestone edging walls (max 250mm high)	ln m	250	\$30.00	\$7,500
Supply & install recon limestone seating walls (max 450mm high)	ln m	120	\$125.00	\$15,000
Supply & install recon limestone block retaining walls (max 2000mm high)	ln m	60	\$550.00	\$33,000
Supply & install limestone rubble walls (max 450mm high)	ln m	30	\$250.00	\$7,500
Supply & install limestone rip rap/mulch	sq m	215	\$15.00	\$3,225
<b>Sub-Total</b>				<b>\$66,225</b>
<b>Paving &amp; Edges</b>				
Supply & install bitumen stabilised limestone	sq m	1,475	\$30.00	\$44,250
Supply & install stabilised crushed gravel	sq m	65	\$15.00	\$975
Supply & install 50x150mm timber edge (gnd to concrete paving)	ln m	165	\$18.00	\$2,970
Supply & install exposed aggregate concrete paving	sq m	0	\$80.00	\$0
Supply & install broomed concrete paving	sq m	80	\$60.00	\$4,800
Supply & install limestone rubble	sq m	246	\$90.00	\$22,140
Supply & install trafficable exposed aggregate concrete paving	sq m	1,296	\$120.00	\$155,520
<b>Sub-Total</b>				<b>\$223,275</b>
<b>Furniture</b>				
Supply & install bench seats	ea	17	\$3,500.00	\$59,500
Supply & install Landmark shade shelters to picnic area	ea	2	\$12,975.00	\$25,950
Supply & install picnic table and seat combination	ea	2	\$4,500.00	\$9,000
Supply & install litter bins	ea	4	\$1,800.00	\$7,200
Supply & install drinking fountain	ea	1	\$2,000.00	\$2,000
Supply & install bbq	ea	1	\$10,000.00	\$10,000
Supply & install protective dune fencing with hessian	ln m	267	\$50.00	\$13,350
Supply & install timber bollards	ea	30	\$50.00	\$1,500
<b>Sub-Total</b>				<b>\$130,500</b>
<b>Lighting</b>				
New distribution boards and modifications to existing	item	1	\$35,000.00	\$35,000
Underground infrastructure (cabling, conduit and pits)	item	1	\$185,000.00	\$185,000
Supply & install light fittings and poles (and pole tops, bollards, and wall fittings)	item	1	\$190,000.00	\$190,000
<b>Sub-Total</b>				<b>\$410,000</b>
<b>Planting &amp; Turf</b>				
Supply & install 100 litre trees	ea	99	\$300.00	\$29,700
Supply & install 130mm pots (4/sqm)	sq m	433	\$10.00	\$4,330
Supply & install humus to 130mm pots	sq m	433	\$5.00	\$2,165
Supply & install mass planting tubestock (4/sqm)	sq m	1,506	\$2.50	\$3,765
Supply & install Terracottens	sq m	1,939	\$2.00	\$3,878
Supply & install salt tolerant turf (Velvetans)	sq m	376	\$7.50	\$2,820
Supply & install soil preparation to turf	sq m	376	\$2.50	\$940
<b>Sub-Total</b>				<b>\$47,998</b>
<b>Irrigation</b>				
Refer separate breakdown	item	1	\$35,912.00	\$35,912
<b>Sub-Total</b>				<b>\$35,912</b>
<b>Contingencies</b>				
Contingencies	%	1	20.0%	\$735,247
<b>Sub-Total</b>				<b>\$735,247</b>
<b>SUB TOTAL (exc GST)</b>				<b>\$4,411,483</b>
<b>Regional Loading</b>				<b>110.00%</b>
Consultancy fees	item	1	\$291,160.00	\$291,160
<b>GRAND TOTAL (exc GST)</b>				<b>\$4,702,643</b>

Note: Concrete paving prices have been based on CGG pricing.

Landscape Works						
ITEM	STANDARD	UNIT	RATE	QTY	COST	
<b>Site Establishment</b>	Include all costs for complying with the Specification and General Conditions of Contract including insurances (2.5 % of total landscape budget)	item			31,606.73	
<b>Demolition</b>	Clear the existing site remove vegetation	item	10.00	908	9,075.00	
	Demolish Toilets, barbecue and various other built elements	item			50,000.00	
<b>Earthworks</b>	Site excavation	cu m	10.00	1815	18,150.00	
	Imported fill for earth shaping		10.00	908	9,075.00	
	Allow for trimming and fine grading	sq m	2.50	1977	4,942.50	
<b>Built Elements</b>	Foreshore Shelters - steel frame & steel deck roof including paving	item	81,000.00	4	324,000.00	
	Art Shelter and viewing tower- steel frame & steel deck roof	item	288,000.00	1	288,000.00	
	Art Shelter - steel frame & steel deck roof		40,040.00	1	40,040.00	
	8 Parkour Walls - steel frame with fibro cement cladding or similar, excluding any specialist equipment or ropes	m	1,500.00	46	69,000.00	
	Walls - concrete 450 high	lm	300.00	54	16,200.00	
	Gazebo - connection between Shelters to foreshore	item	50,000.00	1	50,000.00	
	Inflatable pillow (10.84m x 9m)	item	\$15,635.00	1	15,635.00	
	BBO - including concrete pad	item	11,300.00	5	56,500.00	
	Heritage Merry go round fixing & art	item	20,000.00	1	20,000.00	
<b>Signage</b>	General signage	item	1,500.00	4	6,000.00	
	Heritage boards	item	2,500.00	2	5,000.00	
<b>Merry Go Round</b>	Timber Decking around heritage Merry Go Round	sq m	500.00	225	112,500.00	
	Benches seating	item	1,200.00	5	6,000.00	
	Feature paving & steps	sq.m	500.00	24	12,000.00	
<b>Play Equipment</b>	New Merry Go Round	item	20,000.00	1	20,000.00	
	Slide from viewing tower	item	50,000.00	1	50,000.00	
<b>Hard Landscape</b>	Supply & install Soft-fall for playground	sq m	80.00	239	19,120.00	
	Supply & install Concrete in situ paving to match adjoining paving	cu m	80.00	540	43,200.00	
	Supply & installation of furniture including concrete pad	item	5,000.00	2	10,000.00	
	Supply & installation of park lighting	item	3,000.00	9	27,000.00	
	Supply & install Concrete in situ paving to link slide to play equipment		80.00	60	4,800.00	
	Supply & install special paving at key points	sq m	150.00	130	20,800.00	
<b>Sea Installation</b>	Deck timber platform	sq m	1,500.00	40	60,000.00	
	Ramp to the beach		1,500.00	24	36,000.00	
<b>Softworks</b>	Garden cultivation and preparation including addition of wetting agent, mulch & plants	sq m		30	460	13,800.00
	Supply & install 45Ll trees	unit	80.00	14	1,120.00	
	Supply & install turf to regraded areas	sq m	12.00	1977	23,724.00	
<b>Irrigation</b>	Supply & install irrigation to landscape areas	m	15.00	2437	36,555.00	
	Supply & install irrigation to trees	each	150.00	14	2,100.00	
<b>Art</b>	General Art allowance	item			100,000.00	
<b>Contingency</b>	Contingency (20% of landscape budget)	item			322,388.65	
<b>Total Works</b>					\$ 1,934,331.88	

Notes

No allowance has been made for power connection to the mains  
 No allowance for connection of water supply



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**COST PLAN NO. 1  
ORDER OF COST ESTIMATE  
REV 3**

**GERALDTON RAILWAY STATION  
CONSERVATION WORKS**

FOR

**GRIFFITH ARCHITECTS  
&  
BLACKWELL & ASSOCIATES PTY LTD**

**14 February 2012**

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**Ralph Beattie Bosworth  
Construction Cost Consultants**

Ralph & Beattie Bosworth Pty Ltd as trustee for the Ralph & Beattie  
Unit Trust No. 2 ABN 58 250 502 981

12 Kings Park Road West Perth Western Australia 6005  
PO Bo 456 West Perth Western Australia 6872  
Telephone 08 9321 2777 Facsimile 08 9481 1783  
Email [info@rbb.com.au](mailto:info@rbb.com.au) [www.rbb.com.au](http://www.rbb.com.au)

**GERALDTON RAILWAY STATION  
CONSERVATION WORKS  
CONCEPT ESTIMATE**

14-Feb-12

**NOTES, ASSUMPTIONS & EXCLUSIONS**

NOTES

- 1 This report is based on the following drawings provided by Griffith Architects. Only the scope of works defined in those documents has been included herein:
  - Ground Floor Demolition Plan A1.01 p2
  - Ground Floor Plan A1.02 p2
  - First Floor Demolition Plan A2.01 p2
  - First Floor Plan A2.02 p2
  - Roof Plan A3.01 p2
  - South East & South West Elevations A4.01 p2
  - North East & North West Elevations A4.02 p2
- 2 The estimate is priced based on the rates current at the date of its preparation. No Escalation to commencement has been allowed.
- 3 Please refer to the main body of the estimate for inclusion of scope details
- 4 This estimate is based on preliminary information and should be considered indicative only
- 5 No allowance has been made for White goods to the kitchen or for loose furniture and equipment generally.
- 6 A 20% allowance has been made for design contingency and a 15% allowance has been made for construction
- 7 Allowance has been made for consultant fees.
- 8 Allowance has been made to provide a lift
- 9 The estimate assumes the building will have all new electrical and communication systems
- 10 The estimate includes an allowance of \$100,000 for external works
- 11 The estimate includes an allowance to fit out the premise.

GERALDTON RAILWAY STATION  
 CONSERVATION WORKS  
 CONCEPT ESTIMATE

14/02/2012

Ref	Code	Scope	Unit	Qty	Rate	Sub-Total	Total
	AR	<u>Demolition</u>					
1		Demolish and remove lean to extension, set aside timber floor boards for reuse	m2	27	90.00	2,430.00	
2		Strip out in filled veranda area (ground floor)	m2	19	60.00	1,140.00	
3		Strip out in filled veranda area (1st floor)	m2	23	60.00	1,380.00	
4		Extra over for removal of asbestos	Item	1	25,000.00	25,000.00	
5		Demolish and remove toilet building	m2	8	90.00	720.00	
6		Remove concrete stairs to rear	No	1	360.00	360.00	
7		Remove concrete stairs to front	No	1	360.00	360.00	
8		Remove brick stairs	No	1	600.00	600.00	
9		Remove brick ramp 5600 x 1200	No	1	960.00	960.00	
10		Demolish site walls complete with footing	m	2	30.00	60.00	
11		Remove fence	m	41	6.00	246.00	
12		Take up paving	m2	86	12.00	1,032.00	
13		Carefully cut back Moreton Bay fig tree	Item	1	10,000.00	10,000.00	
14		Remove plantings	No	4	120.00	480.00	
15		Remove internal stair and understair infill	No	1	1,800.00	1,800.00	
16		Remove brick infill of window	No	1	360.00	360.00	
17		Saw cut and remove nib wall	No	1	120.00	120.00	
18		Saw cut new window opening in external wall 1000 x 1700	No	2	600.00	1,200.00	
19		Remove ceiling (G.01)	m2	60	18.00	1,080.00	
20		Remove ceiling to reveal lathe (50% F.01, F.02 & F.03)	m2	55	18.00	990.00	
21		Remove glazed lobby walls	m2	10	60.00	600.00	
22		Remove doors	No	1	72.00	72.00	
23		Remove lattice screen and door 2200 x 3200	No	1	72.00	72.00	
24		Remove shutters	m2	47	39.83	1,872.00	
25		Strip out wall lining and make good to stone wall	m2	38	18.00	684.00	
26		Remove cabinet 500 x 300 x 1800 high	No	1	120.00	120.00	
27		Remove wall battens (G.01)	m	23	1.20	27.60	
28		Remove rails (G.01)	m	31	1.20	37.20	
29		Remove rails (F.01)	m	23	1.20	27.60	
30		Remove chair rail (F.02)	m	29	1.20	34.80	
31		Remove hooks in ceiling (F.01)	Item	1	72.00	72.00	
32		Remove banner pole	No	2	72.00	144.00	
33		Remove display cabinets	m	9	72.00	648.00	
34		Remove downpipes	m	15	12.00	180.00	
35		Remove roof sheet and roof plumbing	m2	245	18.00	4,410.00	
36		Remove soffit linings (asbestos)	m2	89	30.00	2,670.00	
37		Remove tv aerial	No	1	72.00	72.00	
38		Remove barge / fascia board	m	115	6.00	690.00	
39		Strip out electrical services complete	m2	391	8.84	3,456.00	
40		Remove split system a/c unit complete	No	7	216.00	1,512.00	
41		Remove duct and pipes	m	14	240.00	3,360.00	
42		Remove sink and associated services	Item	1	1,800.00	1,800.00	
43		Sundry demolition	Item	1	24,000.00	24,000.00	96,879.20
		<u>SubStructures</u>					
44		Allowance for local repairs	Item	1	10,000.00	10,000.00	10,000.00
	CL	<u>Columns</u>					
45		New timber verandah columns	m	25	90.00	2,250.00	
46		Paint existing columns	m	137	7.20	986.40	3,236.40
	UF	<u>Upper Floors</u>					
47		Allowance for local repairs	Item	1	10,000.00	10,000.00	10,000.00



GERALDTON RAILWAY STATION  
CONSERVATION WORKS  
CONCEPT ESTIMATE

14/02/2012

Ref	Code	Scope	Unit	Qty	Rate	Sub-Total	Total
	SC	<u>Staircases</u>					
48		New internal staircase (ground to first)	No	1	18,000.00	18,000.00	
49		New external stair (ground to first)	No	1	18,000.00	18,000.00	
50		Balustrade	m	3	900.00	2,700.00	
51		New external timber stair	No	1	3,600.00	3,600.00	
52		New timber steps to rear	No	1	1,200.00	1,200.00	43,500.00
	RF	<u>Roof</u>					
53		New roof sheet	m2	245	60.00	14,700.00	
54		Roof plumbing	m2	245	24.00	5,880.00	
55		New barge / fascia	m2	115	30.00	3,450.00	
56		Repair and repaint gable vents	m2	5	60.00	300.00	
57		Replace lead flashing around chimney	m	7	60.00	420.00	
58		New soffit lining	m2	89	72.00	6,408.00	
59		Gutter	m	104	36.00	3,744.00	
60		Downpipe	m	40	36.00	1,440.00	
61		Spreaders	No	4	144.00	576.00	
62		Finials	No	4	240.00	960.00	
63		150 x 150 x UA roof support fixed to existing walls	m	115	96.00	11,040.00	48,918.00
	EW	<u>External Walls</u>					
64		Restore lattice	m2	5	120.00	600.00	
65		Weatherboard cladding on stud, villaboard internally	m2	27	266.40	7,192.80	
66		Remove paint / clean down to external walls	m2	398	60.00	23,880.00	
67		Allowance to remove mortar repairs to brickwork, remove brick, reverse and reinstall	m2	10	144.00	1,440.00	
68		Repoint existing brickwork	m2	206	14.40	2,966.40	
69		Install damp proof membrane	m	59	24.00	1,416.00	
70		Allowance for local repairs to brickwork under windows and install Helibars	Item	1	720.00	720.00	
71		Disassemble existing balustrade, modify and reinstall	m	86	480.00	41,280.00	
72		Reinstate ground floor external balustrade	m	4	780.00	3,120.00	
73		New balustrade	m	13	780.00	10,140.00	
74		Painting external balustrade	m2	171	30.00	5,130.00	
75		Painting timber work verandah beams	m2	43	30.00	1,290.00	99,175.20
	WW	<u>Windows</u>					
76		New windows	m2	9	840.00	7,560.00	
77		Restore existing windows	m2	34	72.00	2,448.00	
78		Replace window hardware	Item	1	4,320.00	4,320.00	14,328.00
	ED	<u>External Doors</u>					
79		New lattice screen and door 2200 x 3200	No	1	1,564.80	1,564.80	
80		Paint existing double doors	No	1	144.00	144.00	
81		Paint existing single doors	No	7	108.00	756.00	
82		Paint doors window combination 1700 x 2100	No	1	180.00	180.00	
83		New single door	No	2	960.00	1,920.00	
84		Replace existing door hardware	Item	1	2,880.00	2,880.00	7,444.80
	NW	<u>Internal Walls</u>					
85		New villaboard clad stud wall	m2	6	262.80	1,576.80	
86		Villaboard on furring to existing masonry wall	m2	27	104.40	2,818.80	4,395.60
	ND	<u>Internal Doors</u>					
87		Paint doors	No	8	108.00	864.00	
88		Replace hardware	No	8	360.00	2,880.00	3,744.00

GERALDTON RAILWAY STATION  
CONSERVATION WORKS  
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14/02/2012

Ref	Code	Scope	Unit	Qty	Rate	Sub-Total	Total
	WF	<u>Wall Finishes</u>					
89		Render existing external wall	m2	14	48.00	672.00	
90		Painting walls internally	m2	393	14.40	5,659.20	
91		Wall tiling	m2	5	180.00	900.00	
92		Replace internal plaster (allowance 20%)	m2	79	60.00	4,740.00	
93		Allowance to derust lintels and sundry metalwork	Item	1	720.00	720.00	
94		Sundry making good	Item	1	720.00	720.00	13,411.20
	FF	<u>Floor Finishes</u>					
95		New grano floor	m2	72	72.00	5,184.00	
96		Allowance for repairs to existing timber floors	Item	1	1,200.00	1,200.00	
97		Cut new floor trap in timber floor	No	7	480.00	3,360.00	
98		Polish and seal existing timber floors (internal)	m2	102	48.00	4,896.00	
99		Take up verandah floor boards and replace with jarrah T&G (external)	m2	91	144.00	13,104.00	
100		Strengthening timber floor for new walls	Item	1	600.00	600.00	
101		Replace 250 x 50 WRC edge board	m	51	48.00	2,448.00	
102		Tiling to new toilets	m2	9	180.00	1,620.00	
103		Replace skirting to G.03	m	4	18.00	72.00	
104		Quads	m	113	9.60	1,084.80	
105		Paint existing rails	m	113	7.20	813.60	
106		Tile skirting	m	21	30.00	630.00	35,012.40
	CF	<u>Ceiling Finishes</u>					
107		New lath and plaster ceiling	m2	60	78.00	4,680.00	
108		Repair and paint lath and plaster ceiling	m2	89	39.00	3,471.00	
109		Plaster existing lathe to ceilings (parts of ceilings)	m2	55	42.00	2,310.00	
110		New ceilings to wc extensions	m2	9	66.00	594.00	
111		Paint existing soffits	m2	74	14.40	1,065.60	
112		Repair and repaint vents	Item	1	600.00	600.00	12,720.60
	FT	<u>Fitments</u>					
113		Kitchen bench	m	4	600.00	2,400.00	
114		Kitchen overbench wall unit	m	4	480.00	1,920.00	
115		Toilet fitout	No	2	600.00	1,200.00	
116		Access toilet fit out	No	1	1,440.00	1,440.00	
117		Sundry make good to existing	Item	1	600.00	600.00	7,560.00
	SE	<u>Special Equipment</u>					
118		Note: no allowance has been made for kitchen whitegoods	Note				
	SF	<u>Sanitary Fixtures</u>					
119		WC + cistern	No	3	1,080.00	3,240.00	
120		Hand basin	No	3	540.00	1,620.00	
121		Kitchen sink	No	1	600.00	600.00	
122		Builders work	Item	1	500.00	500.00	5,960.00
	PD	<u>Sanitary Plumbing</u>					
123		WC + cistern	No	3	1,200.00	3,600.00	
124		Hand basin	No	3	1,080.00	3,240.00	
125		Kitchen sink	No	1	1,080.00	1,080.00	
126		Dishwasher discharge	No	1	1,080.00	1,080.00	
127		Floor waste	No	3	1,080.00	3,240.00	
128		Builders work	Item	1	1,200.00	1,200.00	13,440.00

GERALDTON RAILWAY STATION  
CONSERVATION WORKS  
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14/02/2012

Ref	Code	Scope	Unit	Qty	Rate	Sub-Total	Total
	WS	<u>Water Services</u>					
129		Cold water service	No	10	600.00	6,000.00	
130		Hot water service	No	5	1,080.00	5,400.00	
131		Hot water unit	No	1	1,800.00	1,800.00	
132		Builders work	Item	1	1,300.00	1,300.00	14,500.00
	GS	<u>Gas Service</u>					
133		No allowance	Note				
	VE	<u>Ventilation</u>					
134		Toilet exhaust	No	3	600.00	1,800.00	
135		Kitchen exhaust	No	1	1,200.00	1,200.00	3,000.00
	AC	<u>Air Conditioning</u>					
136		Air conditioning allowance	m2	241	300.00	72,300.00	
137		Builders work	Item	1	3,600.00	3,600.00	75,900.00
	FP	<u>Fire Protection</u>					
138		Fire detection system	m2	241	24.00	5,784.00	5,784.00
	LP	<u>Light &amp; Power</u>					
139		Internal allowance	m2	241	180.00	43,380.00	
140		External allowance	m2	150	72.00	10,800.00	
141		Builders work	Item	1	2,700.00	2,700.00	56,880.00
	CM	<u>Communications</u>					
142		Allowance	Item	1	12,000.00	12,000.00	12,000.00
	TS	<u>Transport Systems</u>					
143		Lift (including alterations to structure)	Item	1	120,000.00	120,000.00	120,000.00
	SS	<u>Special Services</u>					
144		Reinstate existing security system	Item	1	6,000.00	6,000.00	6,000.00
	XR	<u>Roads, Paths &amp; Paved Areas</u>					
145		Access ramp	No	1	6,000.00	6,000.00	
146		Limestone path	m2	12	120.00	1,440.00	7,440.00
	XN	<u>Boundary Walls, Fencing &amp; Gates</u>					
147		New fence - assume colorbond	m	41	60.00	2,460.00	2,460.00
	XL	<u>Landscaping &amp; Improvements</u>					
148		Allowance	Item	1	100,000.00	100,000.00	100,000.00
	XK	<u>External Stormwater Drainage</u>					
149		Soakwells	No	4	3,000.00	12,000.00	12,000.00
	XD	<u>External Sewer Drainage</u>					
150		Pipe in trench	m	30	180.00	5,400.00	
151		Connection	No	1	2,400.00	2,400.00	7,800.00
	XW	<u>External Water Supply</u>					
152		Pipe in trench	m	15	144.00	2,160.00	
153		Connection to meter	No	1	2,400.00	2,400.00	4,560.00
	XG	<u>External Gas</u>					
154		No allowance	Note				N/A

GERALDTON RAILWAY STATION  
 CONSERVATION WORKS  
 CONCEPT ESTIMATE

14/02/2012

Ref	Code	Scope	Unit	Qty	Rate	Sub-Total	Total
155	XE	<u>External Electrical</u> Reconnect	Item	1	3,600.00	3,600.00	3,600.00
156	XC	<u>External Communications</u> Reconnect	Item	1			Included
157		<u>Fit Out</u> Fit out - allowance	m2	241	1,200.00	289,200.00	289,200.00
158		Sub-Total					1,150,849.40
159	PR	Preliminaries					139,150.60
160		Total - Construction Cost					1,290,000.00
161		Design Contingency					260,000.00
162		Construction Contingency					200,000.00
163		Land Purchase					N/A
164		Headworks					Excluded
165		Loose Furniture & Equipment					Excluded
166		Professional Fees & Disbursements					250,000.00
167		Gross Project Costs (at current value)					2,000,000.00
168		Escalation					Excluded
169		Total (excluding GST)					2,000,000.00
170		GST					200,000.00
171		Total					2,200,000.00



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**COST PLAN NO. 1  
ORDER OF COST ESTIMATE  
REV 0**

**GERALDTON MULTI-SER FACILITY**

FOR

**GRIFFITH ARCHITECTS  
&  
BLACKWELL & ASSOCIATES PTY LTD**

**12 February 2012**

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**Ralph Beattie Bosworth  
Construction Cost Consultants**

Ralph & Beattie Bosworth Pty Ltd as trustee for the Ralph & Beattie  
Unit Trust No. 2 ABN 58 260 502 981

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**GERALDTON MULTI-USER CENTRE  
CONCEPT ESTIMATE**

12/02/2012

Ref	Scope	Unit	Qty	Rate	Sub-Total	Total
<b>Multi-Function Centre</b>						
1	Café (shell)	m2	233	1,870	435,710.00	
2	Café (fit out)	m2	233	1,100	256,300.00	
3	Extra over for kitchen fit out	Item	1	275,000	275,000.00	
4	Café toilets	m2	41	3,025	124,025.00	
5	CCTV / Store	m2	41	1,650	67,650.00	
6	Public Toilets	m2	152	3,025	459,800.00	
7	Meeting Rooms / Storage	m2	342	1,980	677,160.00	
8	Open Walled Market	m2	504	880	443,520.00	
9	Backstage / Store	m2	186	1,210	225,060.00	
10	Sound Shell	m2	388	715	277,420.00	
11	Stage	m2	196	275	53,900.00	
12	Sub-Total - Building				3,295,545.00	3,295,545.00
<b>External Works</b>						
13	Hardstand / Parade Area	m2	676	154	104,104.00	
14	Other paving	m2	60	154	9,240.00	
15	Features and street furniture	Item	1	27,500	27,500.00	
16	Grass to park area	m2	4,223	55	232,265.00	
17	Landscape area - minimal works - (balance of site)	m2	1,603	55	88,165.00	
18	Flag poles	No	4	5,500	22,000.00	
19	Connection for event mixing (water proof enclosure)	Item	1	11,000	11,000.00	
20	Sub-Total - External Works				494,274.00	494,274.00
21	Total					3,789,819.00
22	Contingency	10%				380,181.00
23	Professional Fees	14%				585,000.00
24	Total					4,755,000.00
25	Escalation to Tender					Excluded
26	Total					4,755,000.00
27	GST					475,500.00
28	Total					5,230,500.00

**Notes**

- This estimate is based the following documents:  
- Griffiths Architects Site Plan Rev 3 issued 9/2/2012  
- Multiuse Building Function Brief issued 30/1/2012  
Only those items shown in these documents have been included
- No allowance has been made for car parking, road works, works in the existing verge areas, boat areas, beach front or other areas outside the boundary.
- No allowance is made for demolition of existing structures or removal of contaminated / hazardous materials
- The estimate includes a 10% contingency
- The estimate includes and allowance for professional fees
- The estimate is based on costs current at the date of its preparation. No allowance has been made for escalation to commencement