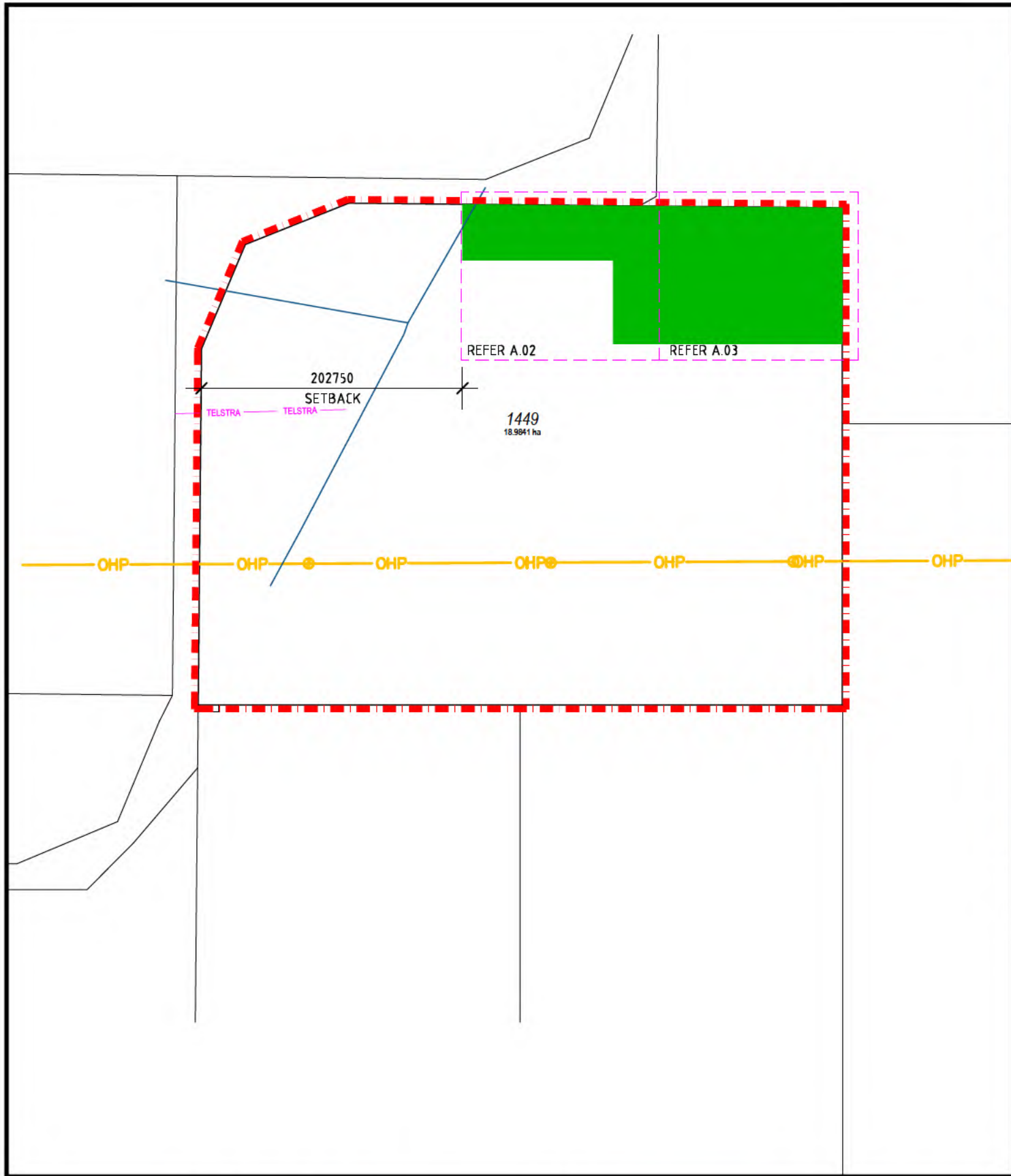




DEVELOPMENT SUMMARY	
TOTAL AREA LOT 1449	18.98ha
AREA SUBJECT TO APPLICATION	1.60ha
CITY OF GREATER Geraldton LOCAL PLANNING SCHEME No. 1 ZONING	RURAL
USE CLASS - WORKERS ACCOMMODATION	A*
*A - means that the use is not permitted unless the local government has exercised its discretion by granting development approval after giving notice in accordance with clause 64 of the deemed provisions.	

	SUBJECT LAND
	APPLICATION AREA
	TELSTRA
	POWER POLE
	OVERHEAD POWER (TRANSMISSION LINE)
	OVERHEAD POWER (DISTRIBUTION LINE)

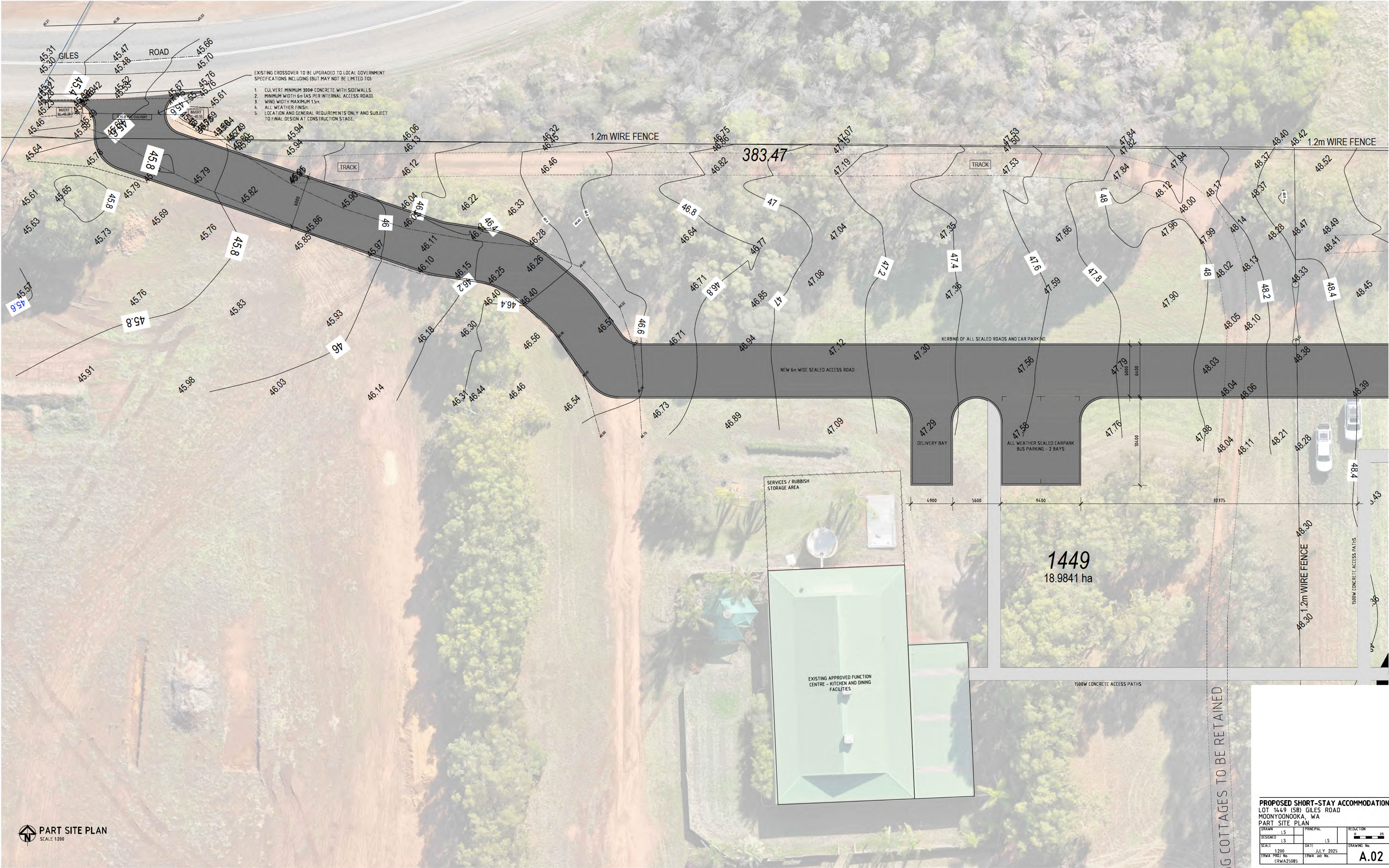
PROPOSED SHORT-STAY ACCOMMODATION
LOT 1449 (58) GILES ROAD
MOONYOONOOKA, WA
LOCATION PLANS

DRAWN LS	PRINCIPAL	REDUCTION
DESIGNED LS	LS	0 25
SCALE NTS	DATE JULY 2025	DRAWING No.
ERWA PROJ No. ERWA25085	ERWA Job No.	A.01

DEVELOPMENT SUMMARY	
LOT 1449 AREA	18.98ha
AREA SUBJECT OF APPLICATION	1.60ha
CITY OF GREATER Geraldton LOCAL PLANNING SCHEME NO. 1 ZONING	RURAL
USE CLASS - WORKERS ACCOMMODATION	A*
A* - MEANS THAT THE USE IS NOT PERMITTED UNLESS THE LOCAL GOVERNMENT HAS EXERCISED ITS DISCRETION BY GRANTING DEVELOPMENT APPROVAL AFTER GIVING NOTICE IN ACCORDANCE WITH CLAUSE 64 OF THE DEEMED PROVISIONS	

DEVELOPMENT PROVISIONS	MINIMUM REQUIRED	ACTUAL PROVISION
MINIMUM SETBACKS	PRIMARY SETBACK (20m)	202.75m
	SIDE BOUNDARY (10m)	15.5m
	REAR BOUNDARY (10m)	55.3m
MAXIMUM PLOT RATIO	VARIABLE	
	VARIABLE	
LANDSCAPING	CAR (1/2 BED) = 11	14
	MC (2/15 BAYS) = 2	2
	BUS (N/A)	2

- NOTES:
- THE PLAN IS PREPARED FOR PLANNING APPROVAL FROM THE CITY OF GREATER Geraldton AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
 - NO LIABILITY WILL BE ACCEPTED WHERE THE PLAN IS USED FOR PURPOSES OTHER THAN INDICATED.
 - THIS PLAN IS PREPARED USING INFORMATION PROVIDED BY LANDGATE. THE DATA EXTRACTED FROM GEOSPATIAL DATABASES IS INTENDED FOR INFORMATIONAL PURPOSES ONLY.
 - EXISTING DEVELOPMENT EXCLUDED FROM THE APPLICATION. REF SHIRE OF GREENOUGH DEVELOPMENT APPROVALS.
 - EXISTING LEVELS PROVIDED BY QUANTUM SURVEYS REF: 23158.
 - ALL SERVICE INFORMATION AS PROVIDED BY RELEVANT AGENCIES.
 - PROPOSED F.F.L. INDICATIVE ONLY AND SUBJECT TO FINAL PLACEMENT ON SITE.
 - FINISHED GROUND LEVELS SUBJECT TO FINAL SITE WORKS.
 - ACCESS ROAD AND CARPARKING FINISH: ALL WEATHER FINISH.
 - ALL COMMERCIAL VEHICLE MOVEMENTS CONTAINED WITHIN THE AREA OF THE DEVELOPMENT APPLICATION.
 - CONCRETE FOOTPATH TO BE PROVIDED AT MINIMUM 1000mm BETWEEN SHARED ZONES.
 - ACCESSIBLE PARKING BAYS AND SHARED ZONE TO BE CONCRETE OR SIMILAR APPROVED HARD STAND REQUIREMENTS.
 - ON-SITE FIRE SUPPRESSION TO BE IMPLEMENTED IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE.
 - DEVELOPMENT APPLICATION PLANS TO BE READ IN CONJUNCTION WITH THE APPLICATION REPORT FOR FULL DETAIL.

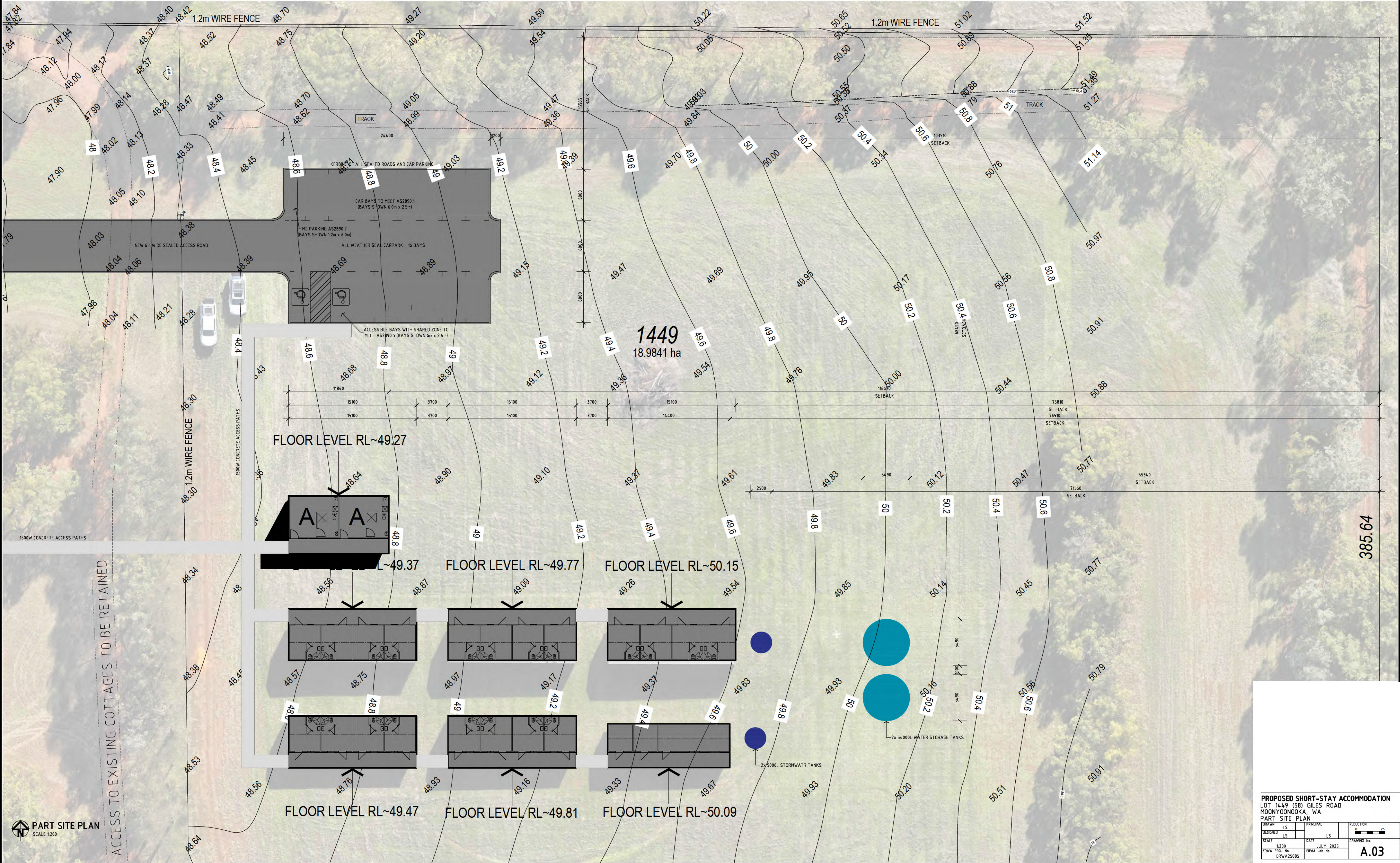


DEVELOPMENT SUMMARY	
LOT 1449 AREA	18.98ha
AREA SUBJECT OF APPLICATION	1.60ha
CITY OF GREATER GERALDTON LOCAL PLANNING SCHEME NO. 1 ZONING	RURAL
USE CLASS - WORKERS ACCOMMODATION	A*
A* - MEANS THAT THE USE IS NOT PERMITTED UNLESS THE LOCAL GOVERNMENT HAS EXERCISED ITS DISCRETION BY GRANTING DEVELOPMENT APPROVAL AFTER GIVING NOTICE IN ACCORDANCE WITH CLAUSE 64 OF THE DEEMED PROVISIONS	

DEVELOPMENT PROVISIONS	MINIMUM REQUIRED	ACTUAL PROVISION
MINIMUM SETBACKS	PRIMARY SETBACK (20m)	202.75m
	SIDE BOUNDARY (10m)	15.5m
	REAR BOUNDARY (10m)	55.3m
MAXIMUM PLOT RATIO	VARIABLE	VARIABLE
	LANDSCAPING	VARIABLE
PARKING	CAR (1/2 BED) = 11	14
	MC (2/15 BAYS) = 2	2
	BUS (N/A)	2

- NOTES:
- THE PLAN IS PREPARED FOR PLANNING APPROVAL FROM THE CITY OF GREATER GERALDTON AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
 - NO LIABILITY WILL BE ACCEPTED WHERE THE PLAN IS USED FOR PURPOSES OTHER THAN INDICATED.
 - THIS PLAN IS PREPARED USING INFORMATION PROVIDED BY LANDGATE. THE DATA EXTRACTED FROM GEOSPATIAL DATABASES IS INTENDED FOR INFORMATIONAL PURPOSES ONLY.
 - EXISTING DEVELOPMENT EXCLUDED FROM THE APPLICATION. REF SHIRE OF GREENOUGH DEVELOPMENT APPROVALS.
 - EXISTING LEVELS PROVIDED BY QUANTUM SURVEYS REF: 23158.
 - ALL SERVICE INFORMATION AS PROVIDED BY RELEVANT AGENCIES.
 - PROPOSED F.F.L. INDICATIVE ONLY AND SUBJECT TO FINAL PLACEMENT ON SITE.
 - FINISHED GROUND LEVELS SUBJECT TO FINAL SITE WORKS.
 - ACCESS ROAD AND CARPARKING FINISH: ALL WEATHER FINISH.
 - ALL COMMERCIAL VEHICLE MOVEMENTS CONTAINED WITHIN THE AREA OF THE DEVELOPMENT APPLICATION.
 - CONCRETE FOOTPATH TO BE PROVIDED AT MINIMUM 1000mm BETWEEN SHARED ZONES.
 - ACCESSIBLE PARKING BAYS AND SHARED ZONE TO BE CONCRETE OR SIMILAR APPROVED HARD STAND REQUIREMENTS.
 - ON-SITE FIRE SUPPRESSION TO BE IMPLEMENTED IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE.
 - DEVELOPMENT APPLICATION PLANS TO BE READ IN CONJUNCTION WITH THE APPLICATION REPORT FOR FULL DETAIL.

- LEGEND
- A ACCESSIBILITY UNIT
 - WATER STORAGE TANKS
 - STORMWATER STORAGE TANKS (5000L TANKS)



PART SITE PLAN
SCALE 1:200

PROPOSED SHORT-STAY ACCOMMODATION
LOT 1449 (58) GILES ROAD
MOONYOONOOKA, WA
PART SITE PLAN

DESIGNED	LS	PRINCIPAL	LS	REDUCTION	0 25
SCALE	1:200	DATE	JULY 2025	DRAWING No.	A.03
ERWA PROJ. No.	ERWA PROJ. No.	ERWA PROJ. No.	ERWA PROJ. No.	ERWA PROJ. No.	ERWA PROJ. No.

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A. WALTON CLOSE (PO BOX 1924) GERALDTON WA 6730

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PART SITE PLAN - SERVICES
SCALE 1:350

- NOTES:
1. WASTEWATER DISPOSAL TYPE SYSTEM DETAIL, LOCATION AND / OR APPLICATION AREA REQUIRED TO BE DETERMINED AT DETAILED DESIGN STAGE IN CONSULTATION WITH HYDRAULIC ENGINEER BY THE PROPOONENT. REFER APPENDIX F OF APPLICATION REPORT FOR FURTHER DETAIL.
 2. DEVELOPMENT AREA CONNECTED TO RETICULATED POWER BY INTERNAL CONSUMER MAINS EXTENSION TO NEW SMSB.
 3. STORMWATER DRAINAGE WILL BE CATERED FOR TANK CAPTURE AND SOAKWELLS ALL PAVED AREAS TO FALL TOWARD LANDSCAPING.
 4. FINAL LOCATION OF ALL PLUMBING AND SOAKWELLS TO BE DETERMINED AT DETAILED DESIGN AND BUILDING PHASE.
 5. REFER TO INDIVIDUAL BUILDING PLANS FOR DETAILED DRAINAGE CALCULATIONS TO LOCAL GOVERNMENT SPECIFICATIONS.

STORM WATER CALCULATIONS - CARPARKING & DRIVEWAY

TOTAL IMPERVIOUS AREA CALC5 = 1525 x 0.9 x 0.031
1525m² x 0.9 x 0.031 = 42.54m³ VOLUME REQUIRED.
ACTUAL SUPPLIED = 2x 18000 x 1800 (4.58m³) CONCRETE SOAK WELL & 60x10x0.1m DEPRESSED LAND AREA = 69.16m³.

DRAINAGE WILL BE CATERED FOR WITH SOAK WELLS. ALL PAVED AREAS TO FALL FORWARD LANDSCAPING.
FINAL LOCATION OF ROOF PLUMBING AND SOAK WELLS TO BE DETERMINED AT DETAILED DESIGN AND BUILDING PHASE.

LEGEND

- UNDERGROUND POWER
- SEWERAGE PIPEWORK
- RETICULATED WATER SERVICE
- RAIN WATER TANKS
- WATER STORAGE TANKS

PROPOSED SHORT-STAY ACCOMMODATION
LOT 1449 (58) GILES ROAD
MOONYOONOOKA, WA
PART SITE PLAN - SERVICES

DRAWN		PRINCIPAL		REDUCED	
DESIGNED	LS	DATE	LS	0	25
SCALE	1:350	DATE	JULY 2025	DRAWING No.	
ERWA PROJ. No.	ERWA25085	ERWA JES No.		A.04	

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A. WALTON (CLOSE IPD BOX 1824) GERALDTON WA 6350

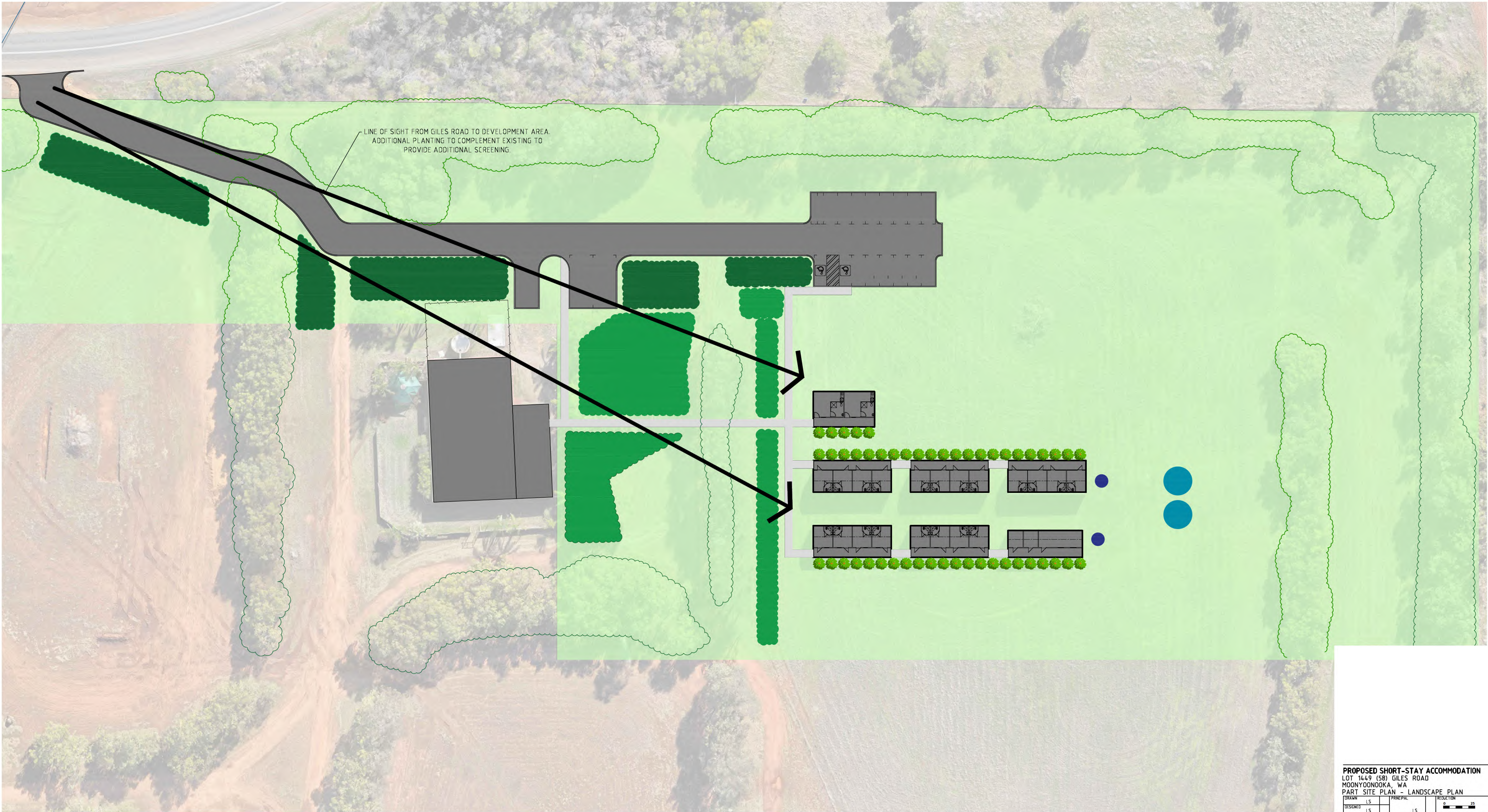
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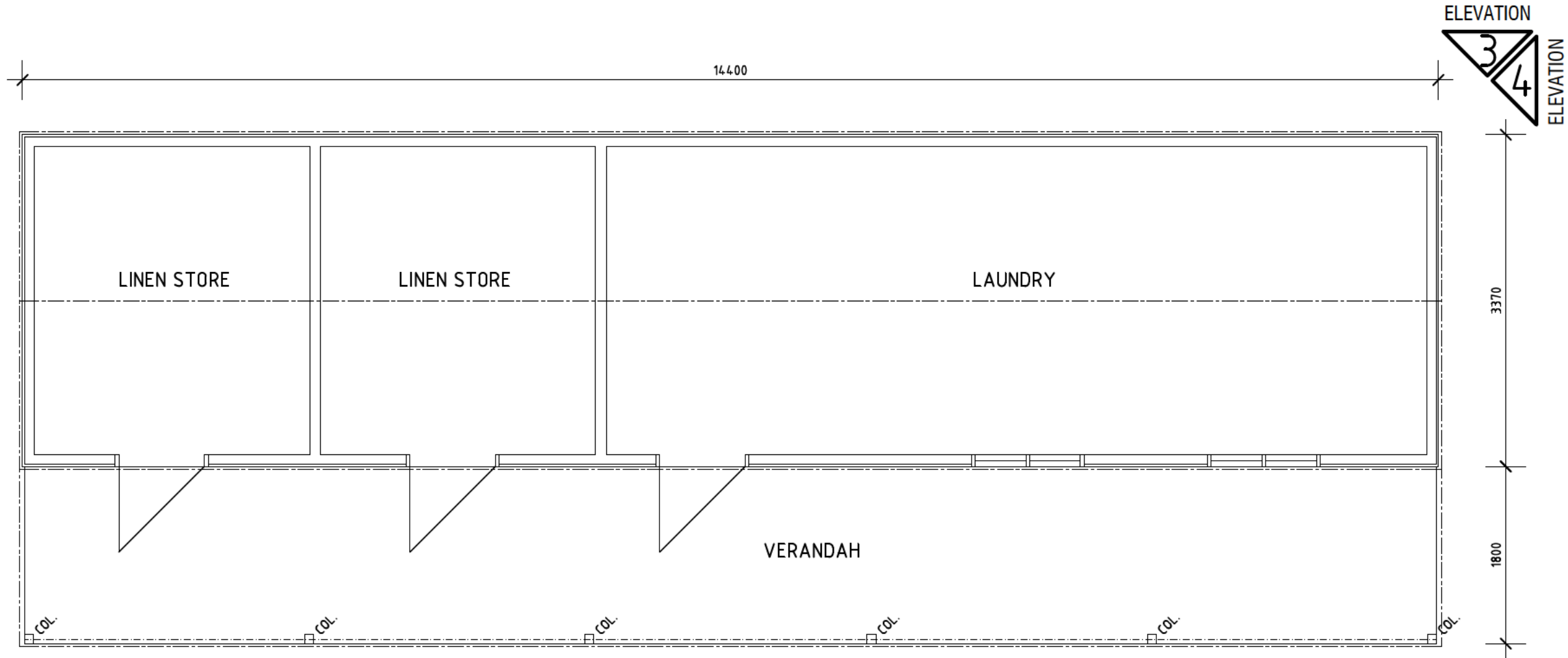
- NOTES:
- 23404m² OF LANDSCAPING.
 - ALL EXISTING TREES RETAINED.
 - PLANT LOCATION INDICATIVE ONLY - SUBJECT TO DETAILED DESIGN PHASE AND SERVICE INFRASTRUCTURE ALIGNMENTS.
 - SPECIES MIXED TO CREATE INFORMAL LANDSCAPE.
 - PLANTS STAKED AS REQUIRED TO MATURITY.
 - PLANT MIX TYPE 2 TO 7 TO HAVE NATURAL MULCH COVERING.
 - FINAL DESIGN NGL TO ALLOW RUNOFF TO LANDSCAPED AREAS.
 - RETICULATION TO LANDSCAPING AS REQUIRED FOR MINIMUM 2 YEARS MAINTENANCE / ESTABLISHMENT PERIOD. POP-UP BUBBLERS TO AVOID OVERSPRAY AND WATER.

LEGEND

- MAINTAINED GRASS
- SEALD ACCESS ROADS / CARPARK
- 1500 WIDE CONCRETE FOOT PATH
- PLANT MIX TYPE 1 (1/3m²)
- PLANT MIX TYPE 2 TO 7 (1/1m²)
- EXISTING MATURE TREES
- PLANTING TYPE 2 TO 7

TYPE		SCIENTIFIC NAME & COMMON NAME	HEIGHT	WIDTH	TYPE		SCIENTIFIC NAME & COMMON NAME	HEIGHT	WIDTH	TYPE		SCIENTIFIC NAME & COMMON NAME	HEIGHT	WIDTH	TYPE		SCIENTIFIC NAME & COMMON NAME	HEIGHT	WIDTH	TYPE		SCIENTIFIC NAME & COMMON NAME	HEIGHT	WIDTH										
1		NERIUM OLEANDER "OLEANDER"	3m	3m	2		CHAMAELARCUM UNCINATUM "GERALDTON WAX"	3m	3m	3		LEPTOSPERMUM JAPONICUS "TEA TREE"	3m	3m	4		DPHOPOGON JAPONICUS "MONDO GRASS"	25cm	50cm	5		ARCTOTIS "AFRICAN DAISY"	45cm	75cm	6		RHOED DISCOLOR COMPACTA "MOSES IN CRADLE"	40cm	30cm	7		FESTUCA GLAUCA "BLUE FESCUE"	30cm	30cm





FLOOR PLAN

SCALE 1:50

NOTES:

1. FINAL POSITION OF ALL STRUCTURES SUBJECT TO AVAILABILITY OF SERVICE CONNECTORS. GENERAL LOCATION INDICATED ON PLAN.
2. BUILDING INTERNAL CONFIGURATION AND OPENINGS INDICATIVE ONLY AND MAY CHANGE.
3. BUILDINGS TO BE CONNECTED TO RETICULATED WATER, POWER SERVICES AND EFFLUENT DISPOSAL SYSTEMS AS REQUIRED BY THE LOCAL AUTHORITY AND DEPARTMENT OF HEALTH.
4. FFL SUBJECT TO BUILDING CERTIFICATION FOR SITE WORKS, FOOTINGS AND METHOD OF TIE DOWN FOR TRANSPORTABLE UNITS.
5. STRUCTURE TO BE TIES TO CONCRETE PIERS.
6. ALL EXTERNAL WALLS: CUSTOM ORB 'PALE EUCALYPT' WITH 'IRONSTONE' TRIM.
7. SPACE BETWEEN GROUND AND FLOOR LEVEL TO BE ENCLOSED IN SIMILAR CLADDING MATERIAL TO WALLS AND FINISHED IN SAME COLOUR PALETTE.

STORM WATER CALCULATIONS

TOTAL IMPERVIOUS AREA CALCS = $75.62 \times 0.9 \times 0.031$.

$75.62\text{m}^2 \times 0.9 \times 0.031 = 2.11\text{m}^3$ VOLUME REQUIRED.

ACTUAL SUPPLIED = 1x 1800Ø x 1800 (4.58m³) CONCRETE SOAK WELL.

DRAINAGE WILL BE CATERED FOR WITH SOAK WELLS. ALL PAVED AREAS TO FALL FORWARD LANDSCAPING.
FINAL LOCATION OF ROOF PLUMBING AND SOAK WELLS TO BE DETERMINED AT DETAILED DESIGN AND BUILDING PHASE.

PROPOSED WORKERS CAMP

LOT 1449 (58) GILES ROAD

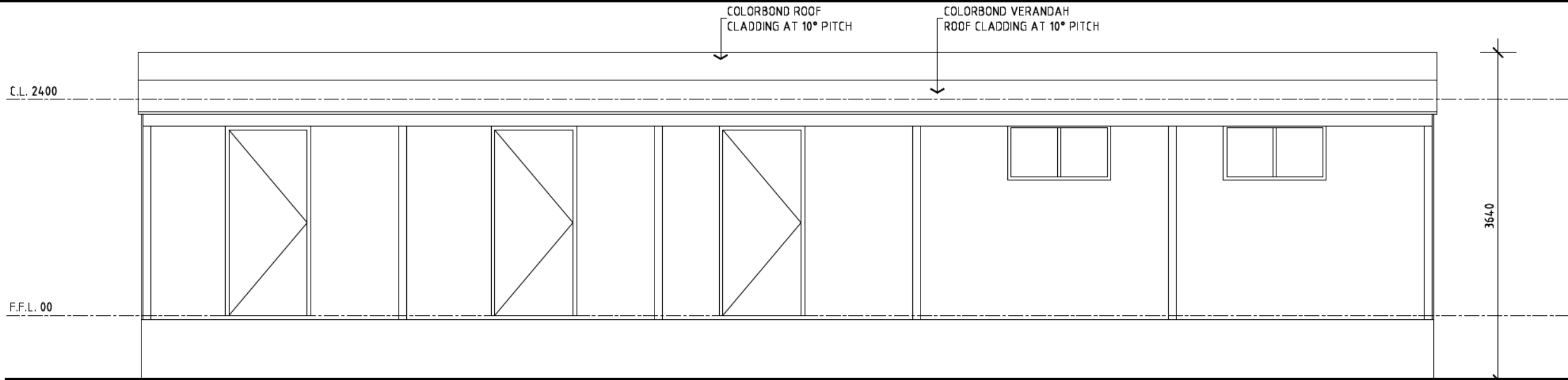
MOONYOONOOKA, WA

FLOOR PLAN - LAUNDRY

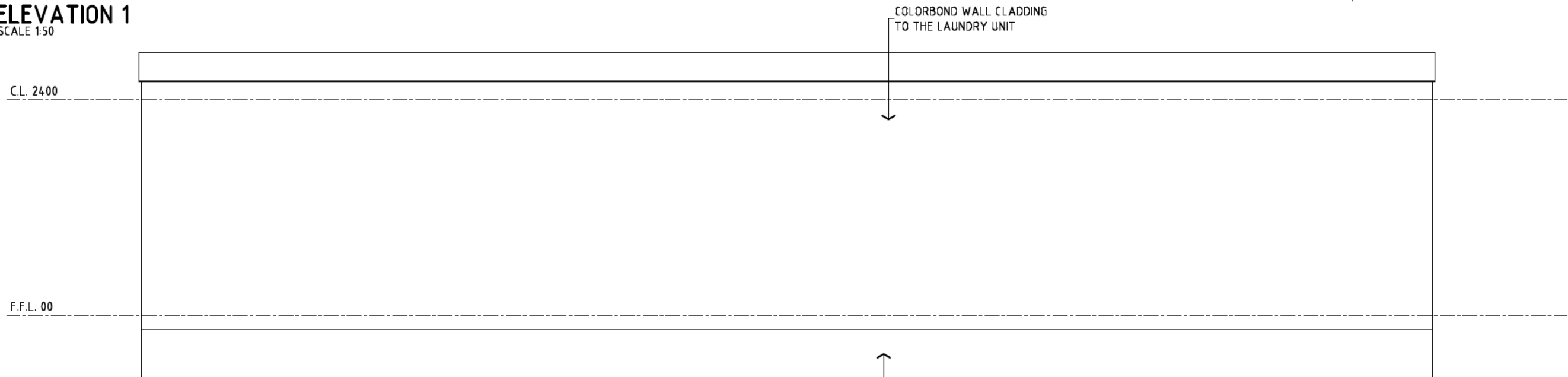
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			DRAWING No.
			A.06

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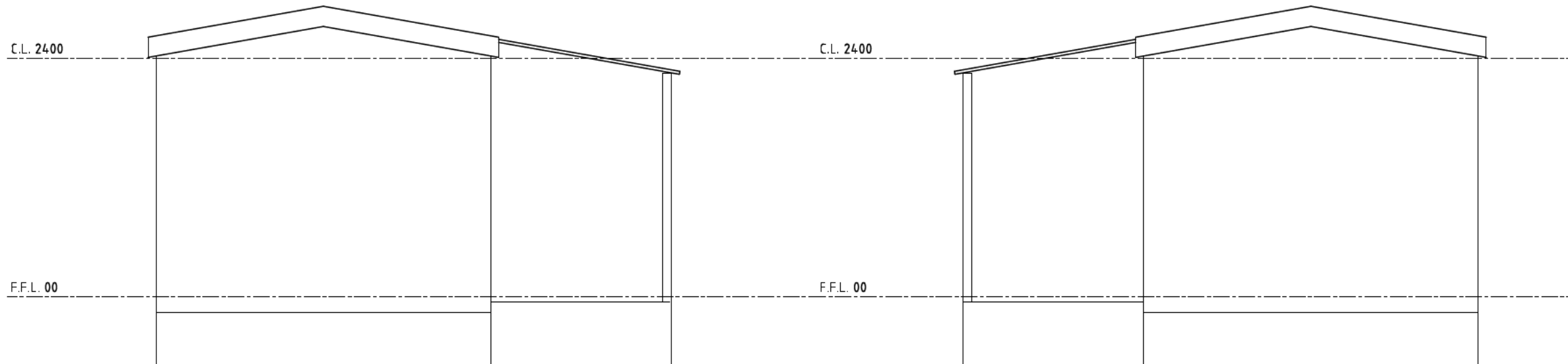
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ELEVATION 1
SCALE 1:50



ELEVATION 3
SCALE 1:50

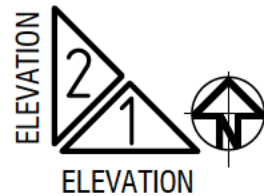
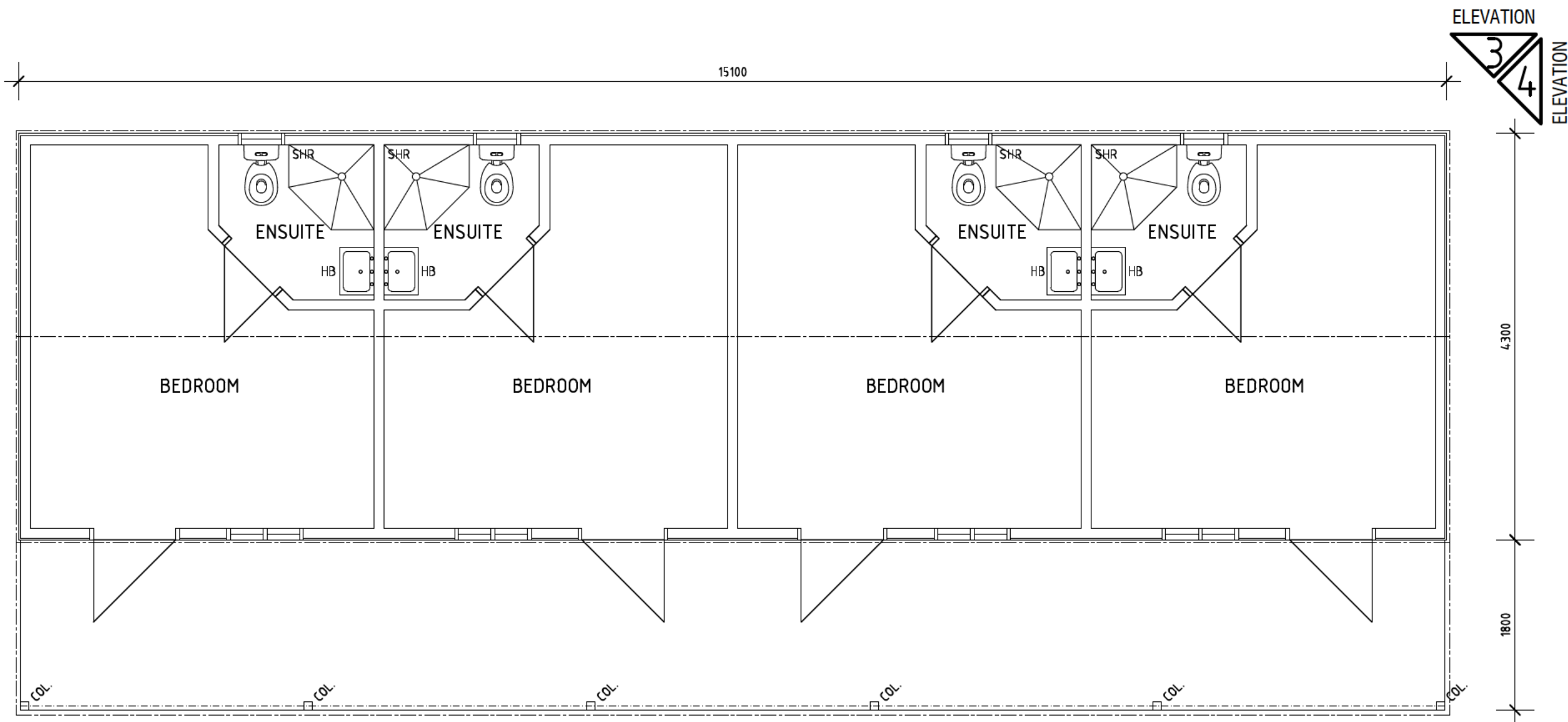


ELEVATION 2
SCALE 1:50

ELEVATION 4
SCALE 1:50

PROPOSED WORKERS CAMP
LOT 1449 (58) GILES ROAD
MOONYOONOOKA, WA
ELEVATIONS - LAUNDRY

DRAWN	LS	PRINCIPAL	REDUCTION
DESIGNED	LS	LS	0 25
SCALE	1:50	DATE	JUNE 2025
ERWA PROJ No.	ERWA25085	ERWA Job No.	
			A.07



FLOOR PLAN - ACCOMMODATION BUILDINGS

SCALE 1:50

NOTES:

1. FINAL POSITION OF ALL STRUCTURES SUBJECT TO AVAILABILITY OF SERVICE CONNECTORS. GENERAL LOCATION INDICATED ON PLAN.
2. BUILDING INTERNAL CONFIGURATION AND OPENINGS INDICATIVE ONLY AND MAY CHANGE.
3. BUILDINGS TO BE CONNECTED TO RETICULATED WATER, POWER SERVICES AND EFFLUENT DISPOSAL SYSTEMS AS REQUIRED BY THE LOCAL AUTHORITY AND DEPARTMENT OF HEALTH.
4. FFL SUBJECT TO BUILDING CERTIFICATION FOR SITE WORKS, FOOTINGS AND METHOD OF TIE DOWN FOR TRANSPORTABLE UNITS.
5. STRUCTURE TO BE TIES TO CONCRETE PIERS.
6. ALL EXTERNAL WALLS: CUSTOM ORB 'PALE EUCALYPT' WITH 'IRONSTONE' TRIM.
7. SPACE BETWEEN GROUND AND FLOOR LEVEL TO BE ENCLOSED IN SIMILAR CLADDING MATERIAL TO WALLS AND FINISHED IN SAME COLOUR PALETTE.

STORM WATER CALCULATIONS

TOTAL IMPERVIOUS AREA CALCS = $93.69 \times 0.9 \times 0.031$.

$93.69\text{m}^2 \times 0.9 \times 0.031 = 2.61\text{m}^3$ VOLUME REQUIRED.

ACTUAL SUPPLIED = 1x 1800Ø x 1800 (4.58m³) CONCRETE SOAK WELL.

DRAINAGE WILL BE CATERED FOR WITH SOAK WELLS. ALL PAVED AREAS TO FALL FORWARD LANDSCAPING.
FINAL LOCATION OF ROOF PLUMBING AND SOAK WELLS TO BE DETERMINED AT DETAILED DESIGN AND BUILDING PHASE.

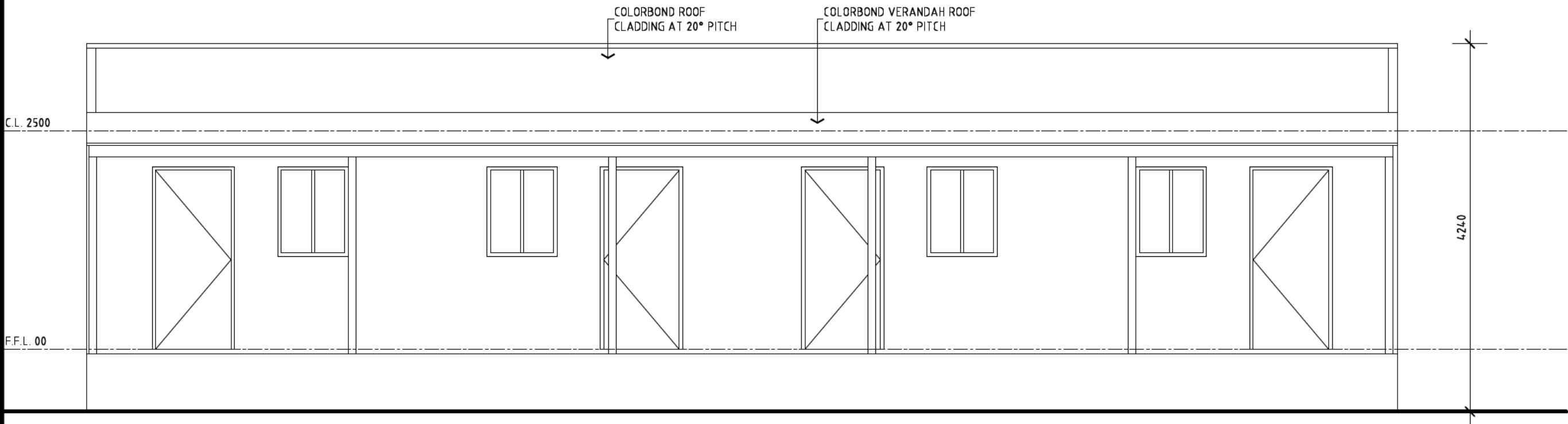
PROPOSED WORKERS CAMP

LOT 1449 (58) GILES ROAD
MOONYOONOOKA, WA
FLOOR PLAN - ACCOMMODATION UNITS

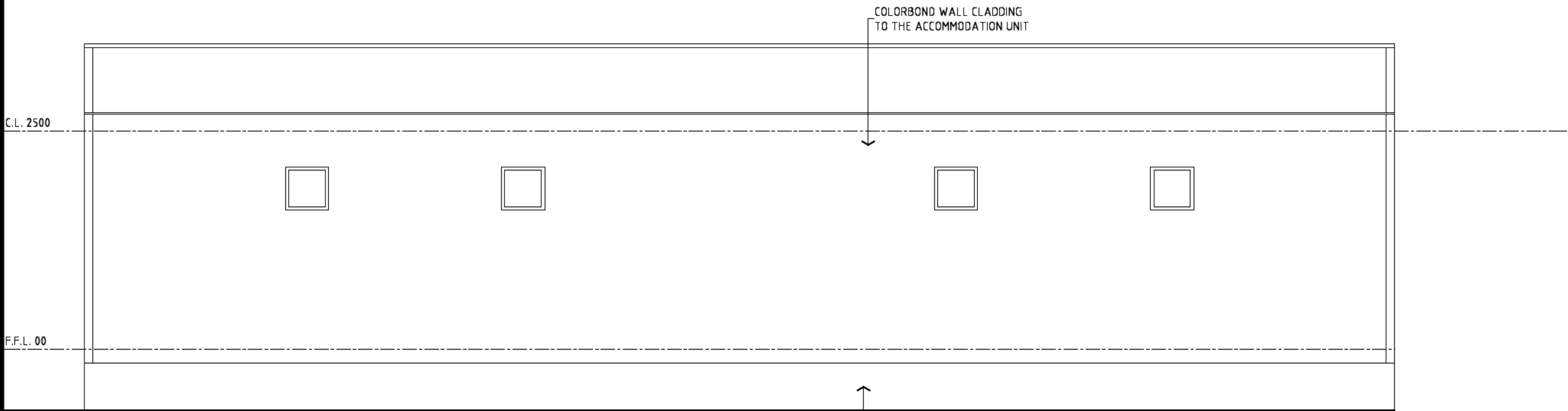
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DESIGNED	LS	LS	0 25
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ERWA PROJ No.	ERWA25085	ERWA Job No.	
			DRAWING No.
			A.08

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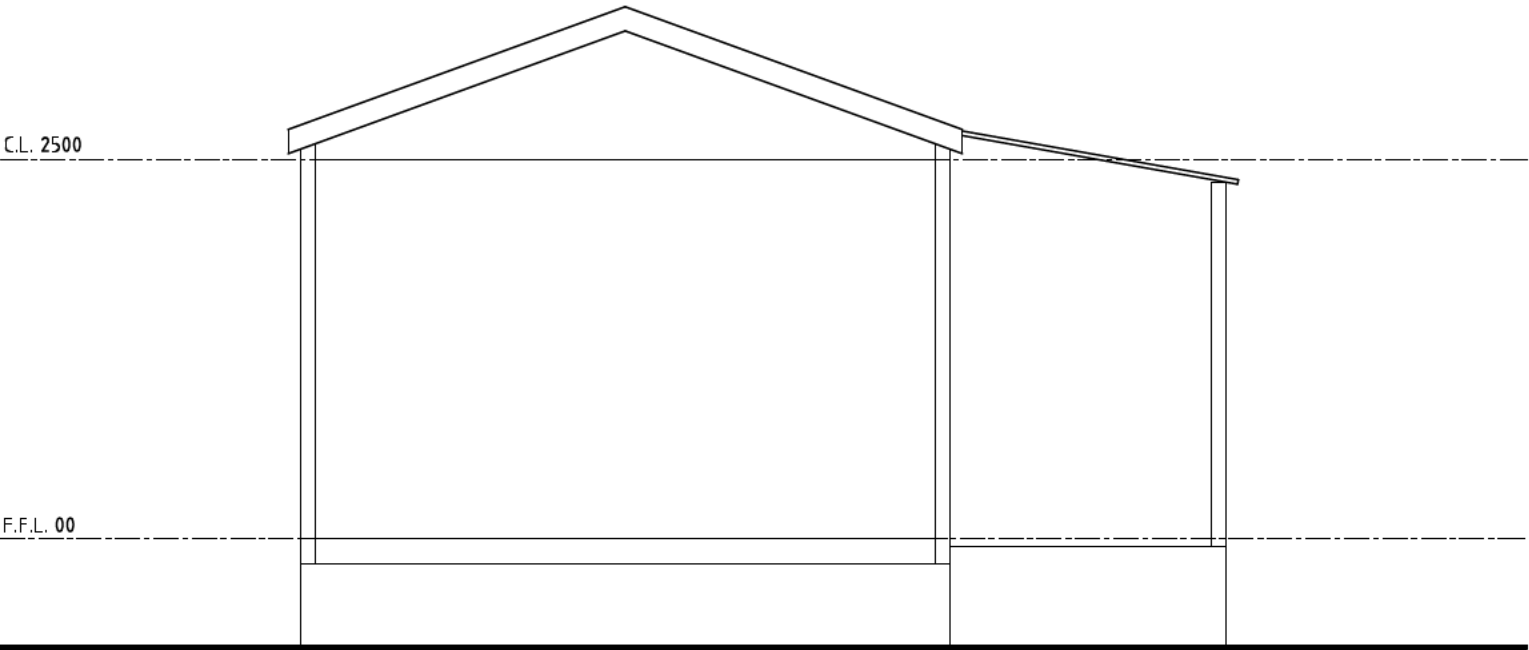
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SCALE 1:50



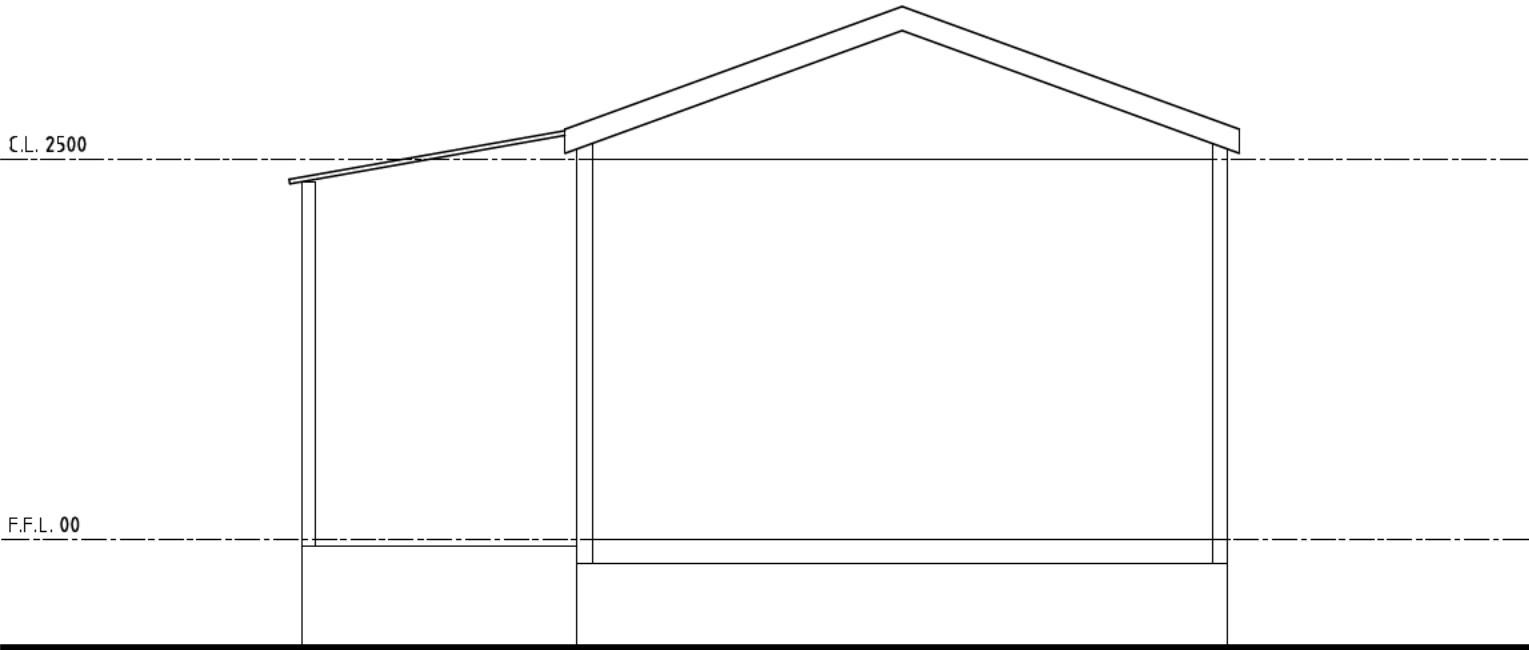
ELEVATION 3
SCALE 1:50

PROPOSED WORKERS CAMP
LOT 1449 (58) GILES ROAD
MOONYOONOOKA, WA
ELEVATIONS - ACCOMMODATION UNITS

DRAWN	LS	PRINCIPAL	REDUCTION
DESIGNED	LS	LS	0 25
SCALE	1:50	DATE	JUNE 2025
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ELEVATION 2
SCALE 1:50



ELEVATION 4
SCALE 1:50

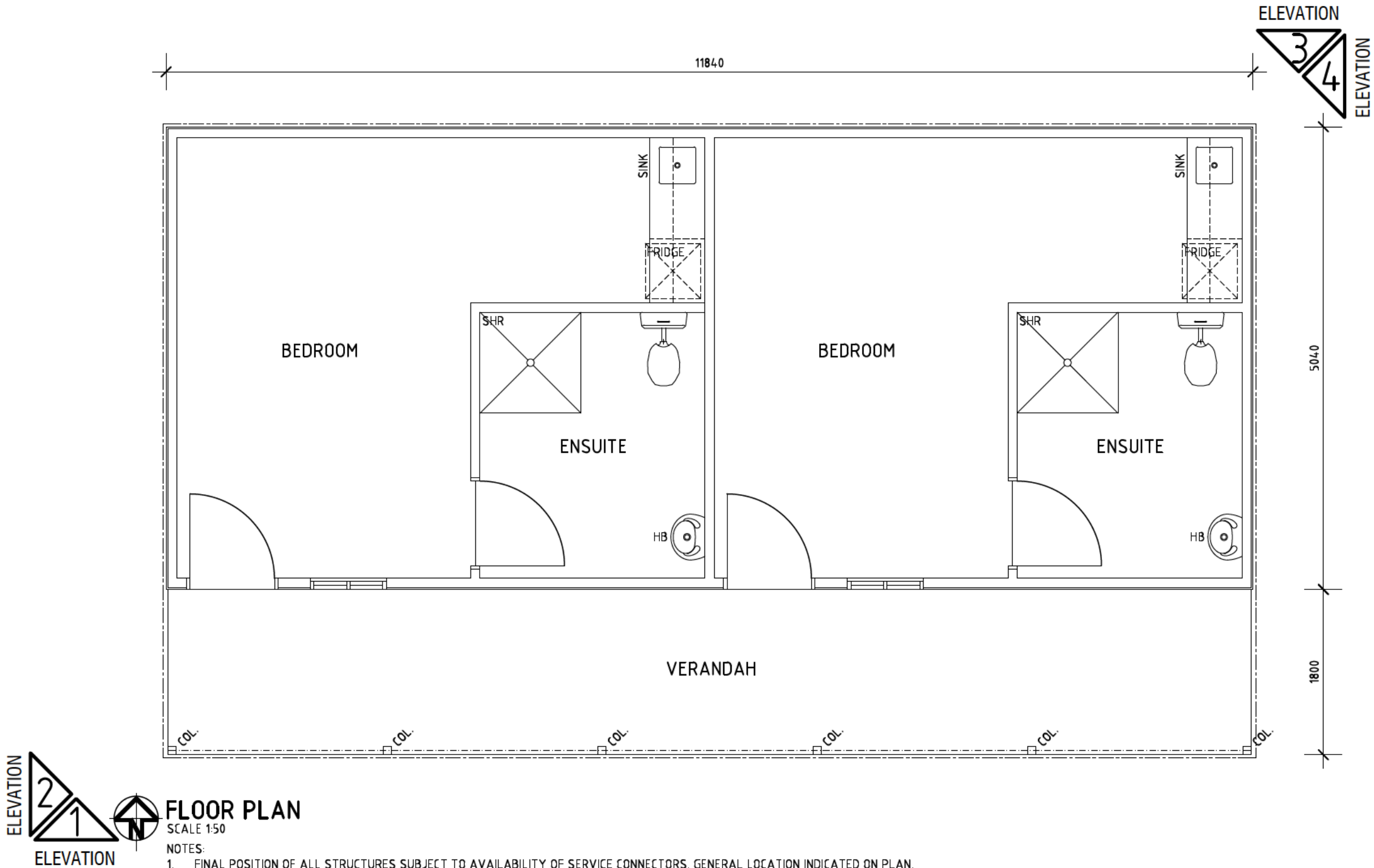
PROPOSED WORKERS CAMP

LOT 1449 (58) GILES ROAD

MOONYOONOOKA, WA

ELEVATIONS - ACCOMMODATION UNITS

DRAWN	LS	PRINCIPAL	LS	REDUCTION	025
DESIGNED	LS				
SCALE	1:50	DATE	JUNE 2025	DRAWING No.	A.10
ERWA PROJ No.	ERWA25085	ERWA Job No.			



FLOOR PLAN

SCALE 1:50

NOTES:

1. FINAL POSITION OF ALL STRUCTURES SUBJECT TO AVAILABILITY OF SERVICE CONNECTORS. GENERAL LOCATION INDICATED ON PLAN.
2. BUILDING INTERNAL CONFIGURATION AND OPENINGS INDICATIVE ONLY AND MAY CHANGE.
3. BUILDINGS TO BE CONNECTED TO RETICULATED WATER, POWER SERVICES AND EFFLUENT DISPOSAL SYSTEMS AS REQUIRED BY THE LOCAL AUTHORITY AND DEPARTMENT OF HEALTH.
4. FFL SUBJECT TO BUILDING CERTIFICATION FOR SITE WORKS, FOOTINGS AND METHOD OF TIE DOWN FOR TRANSPORTABLE UNITS.
5. STRUCTURE TO BE TIES TO CONCRETE PIERS.
6. ALL EXTERNAL WALLS: CUSTOM ORB 'PALE EUCALYPT' WITH 'IRONSTONE' TRIM.
7. SPACE BETWEEN GROUND AND FLOOR LEVEL TO BE ENCLOSED IN SIMILAR CLADDING MATERIAL TO WALLS AND FINISHED IN SAME COLOUR PALETTE.

STORM WATER CALCULATIONS

TOTAL IMPERVIOUS AREA CALCS = $82.11 \times 0.9 \times 0.031$.

$82.11\text{m}^2 \times 0.9 \times 0.031 = 2.29\text{m}^3$ VOLUME REQUIRED.

ACTUAL SUPPLIED = $1 \times 1800 \times 1800$ (4.58m³) CONCRETE SOAK WELL.

DRAINAGE WILL BE CATERED FOR WITH SOAK WELLS. ALL PAVED AREAS TO FALL FORWARD LANDSCAPING.

FINAL LOCATION OF ROOF PLUMBING AND SOAK WELLS TO BE DETERMINED AT DETAILED DESIGN AND BUILDING PHASE.

PROPOSED WORKERS CAMP

LOT 1449 (58) GILES ROAD

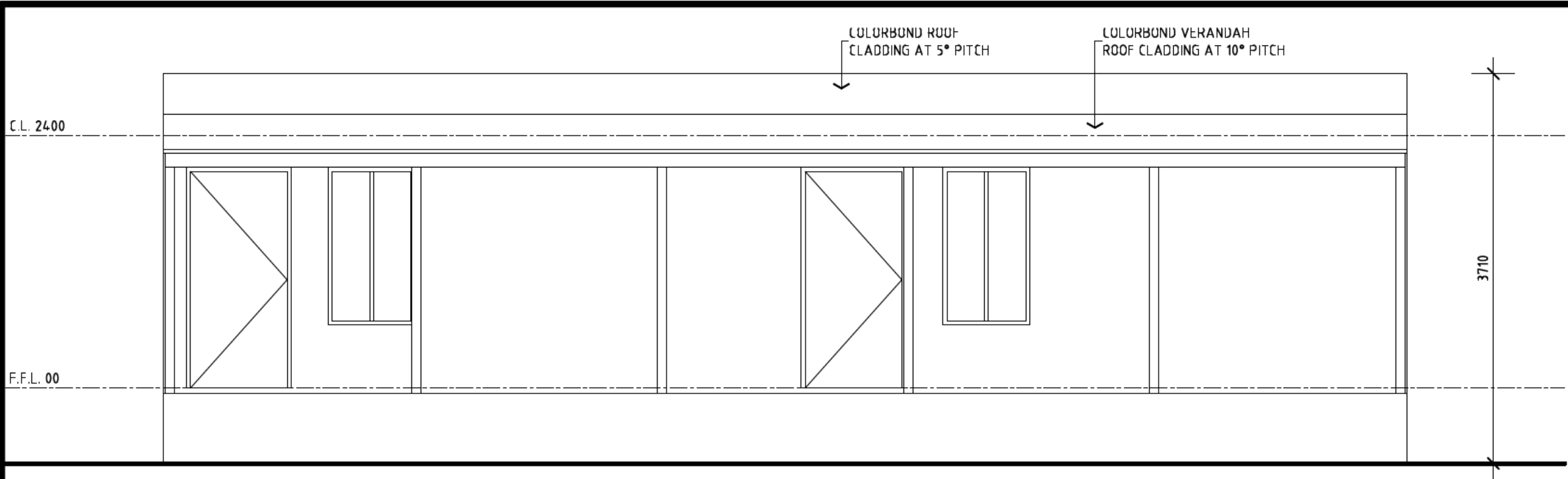
MOONYOONOOKA, WA

FLOOR PLAN - DISABLED ACCOMMODATION UNIT

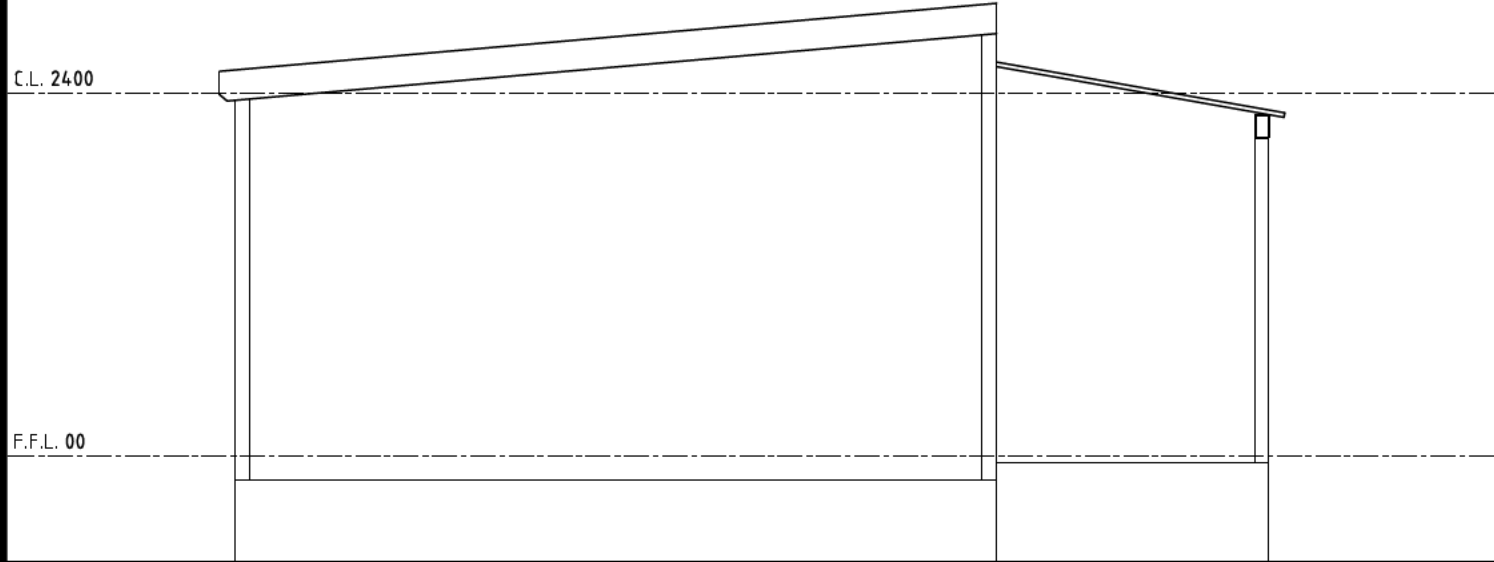
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DESIGNED	LS	LS	0 25
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ERWA PROJ No.	ERWA25085	ERWA Job No.	
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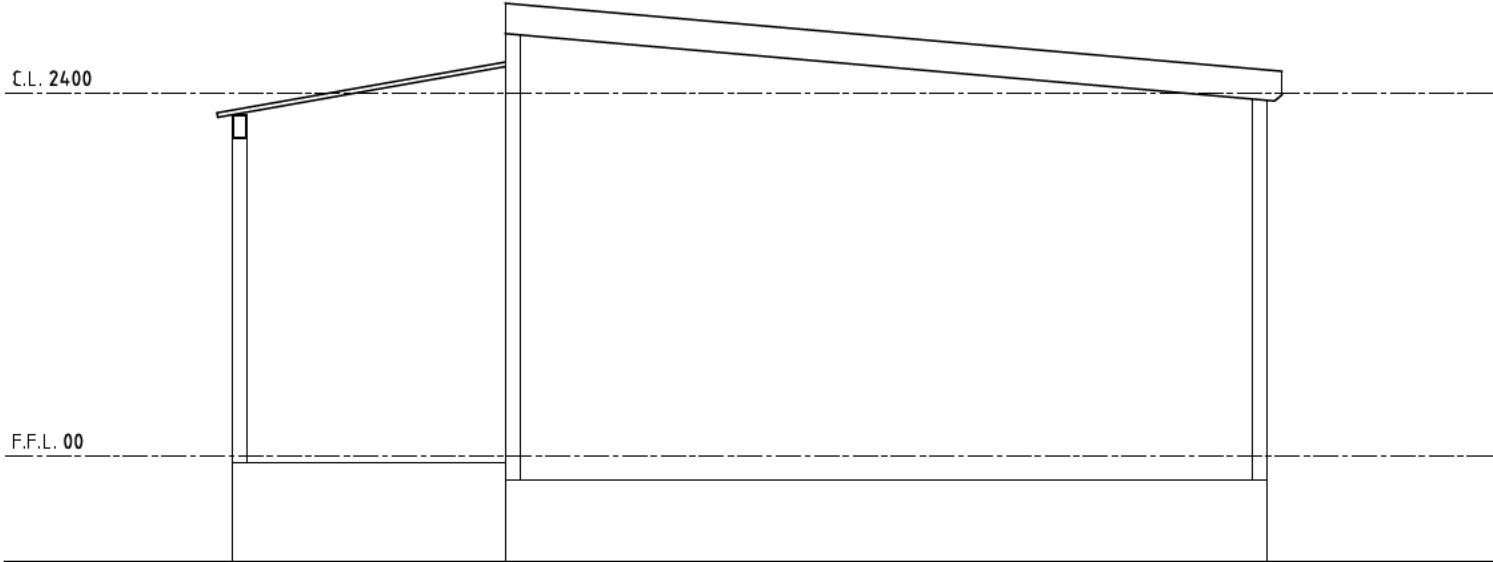
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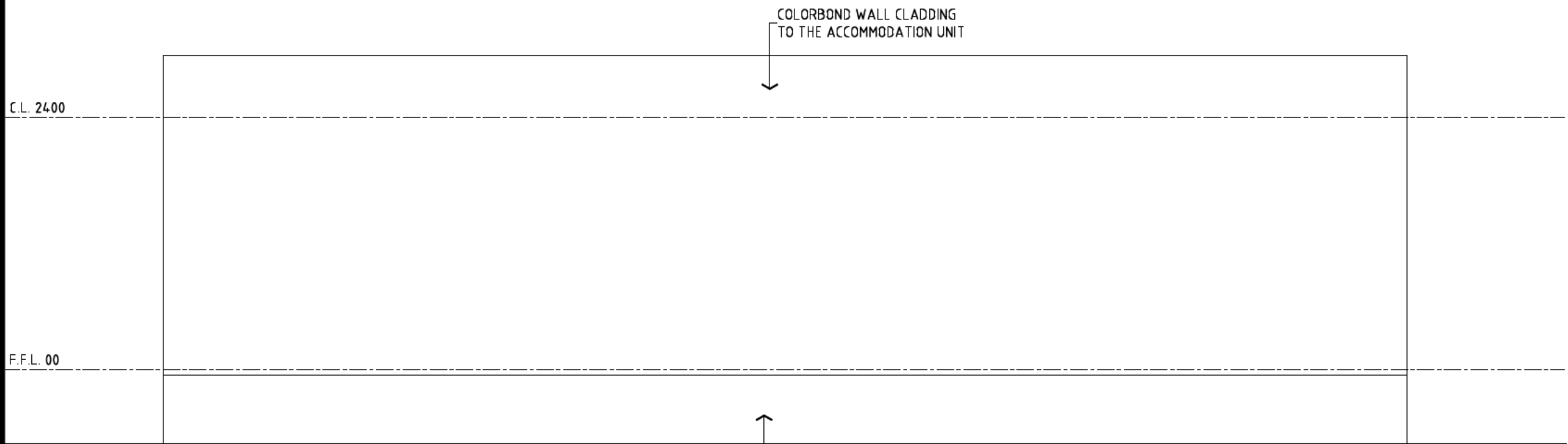
ELEVATION 1
SCALE 1:50



ELEVATION 2
SCALE 1:50



ELEVATION 4
SCALE 1:50



ELEVATION 3
SCALE 1:50

COLORBOND SKIRT TO MATCH THE EXTERNAL
CLADDING OF THE ACCOMMODATION UNIT

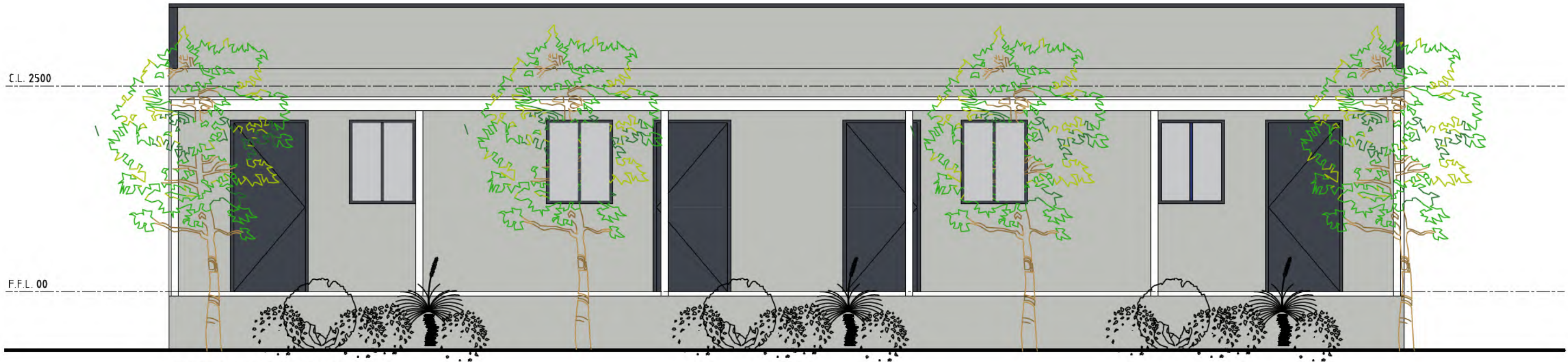
PROPOSED WORKERS CAMP
LOT 1449 (58) GILES ROAD
MOONYOONOOKA, WA
ELEVATIONS - DISABLED ACCOMMODATION UNIT

DRAWN	LS	PRINCIPAL	REDUCTION
DESIGNED	LS	LS	0 25
SCALE	1:50	DATE	JUNE 2025
ERWA PROJ No.	ERWA25085	ERWA Job No.	

A.12

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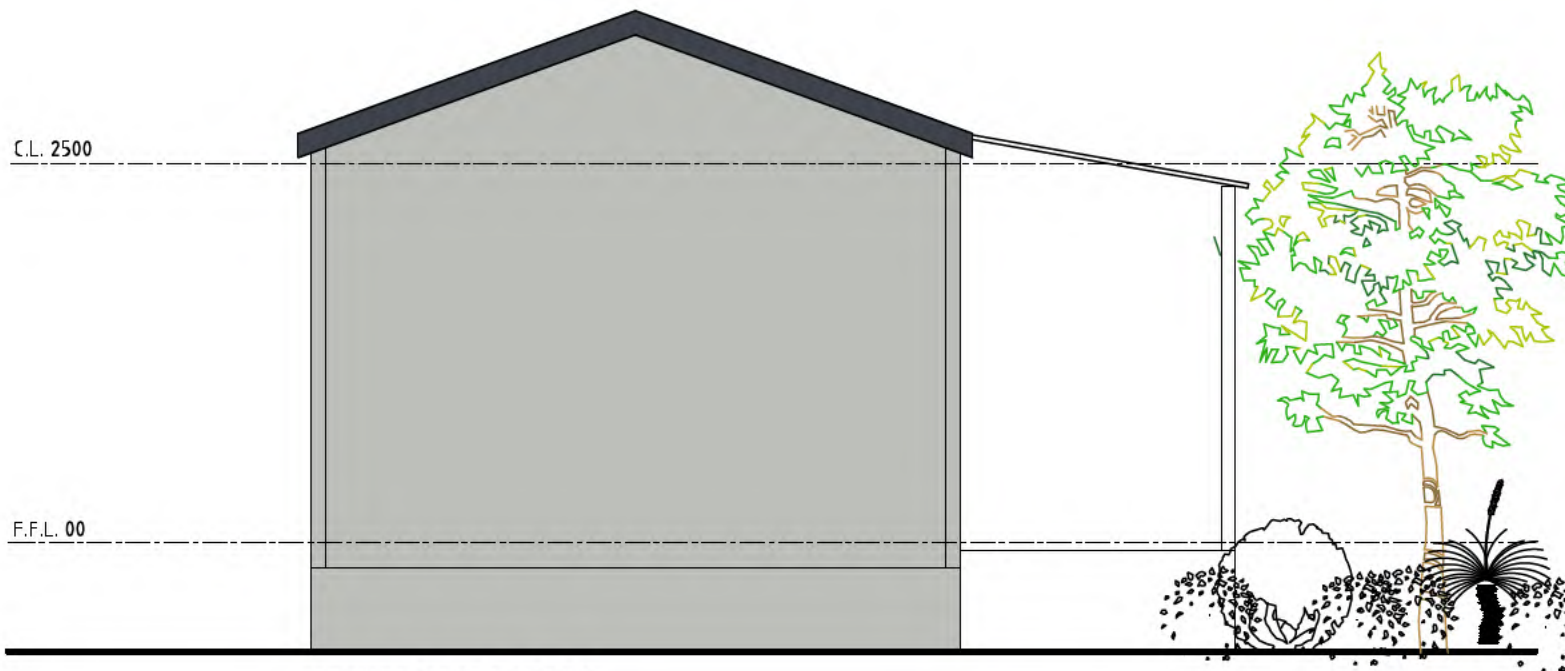


FRONT ELEVATION

SCALE 1:50

NOTES:

1. INDICATIVE BUILT FORM ONLY.
2. WALLS AND SKIRT: COLORBOND F ALE EUCALYPT.
3. TRIM: COLORBOND IRONSTONE.



SIDE ELEVATION

SCALE 1:50

	RGB FOR SHALE GREY
	189
	191
	186
	RGB FOR IRONSTONE
	62
	67
	76

PROPOSED WORKERS CAMP
LOT 1449 (58) GILES ROAD
MOONYOONOOKA, WA
ELEVATIONS - AS BUILT

DRAWN	LS	PRINCIPAL	REDUCTION
DESIGNED	LS	LS	0 25
SCALE	1:50	DATE	JUNE 2025
ERWA PROJ No.	ERWA25085	ERWA Job No.	
			DRAWING No.
			A.13

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