

NOTES:

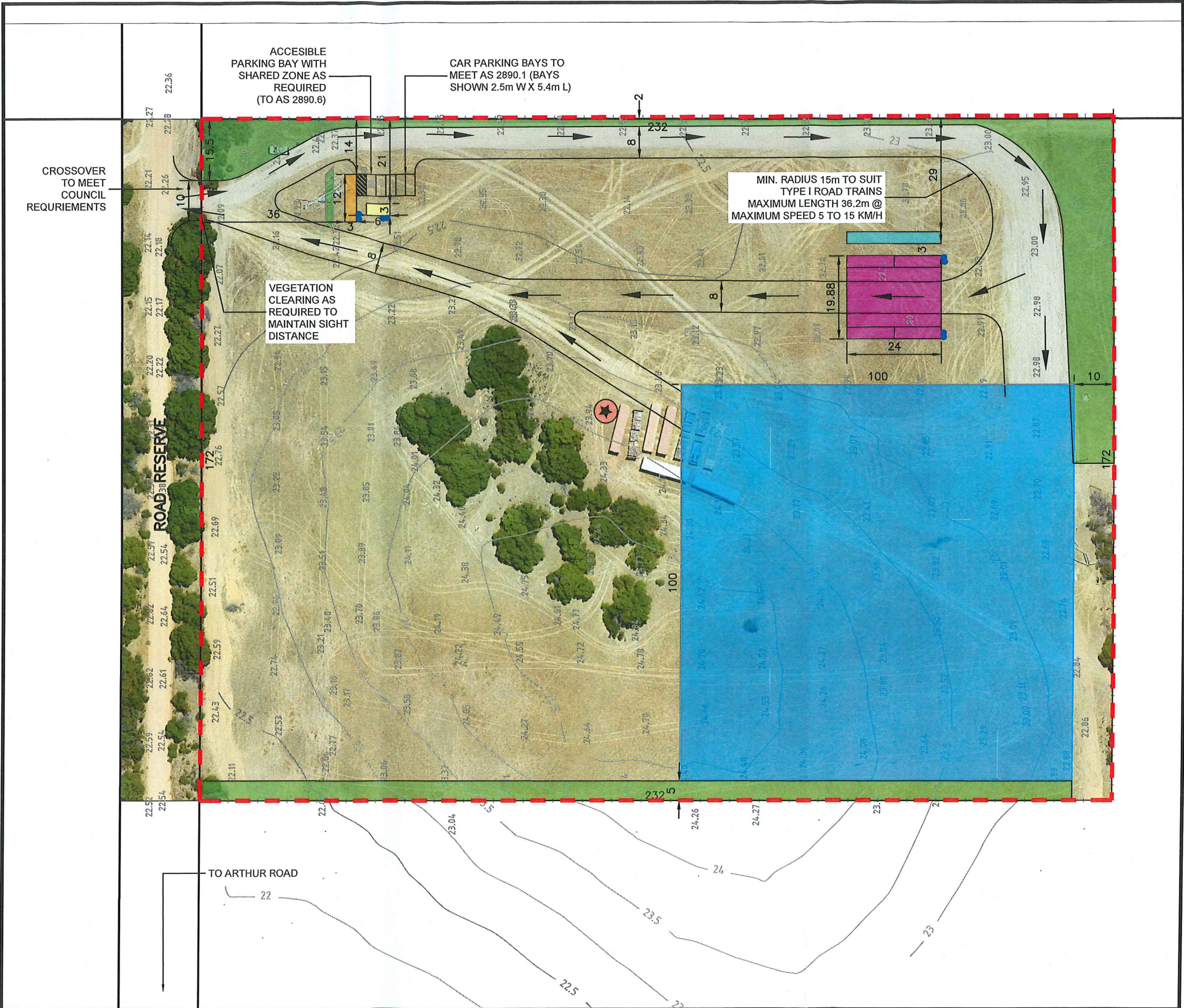
- Existing levels provided by Quantum Surveys Ref: 9050
- Proposed FFL indicative only and subject to final placement on site.
- Finished Ground levels subject to final site works.
- All trafficable areas 200mm compacted blue metal.
- All commercial vehicle movements contained within are of development application.
- All service information as provided by relevant agencies.
- Dimensions and areas are subject to lot pre-calculation and survey.
- The plan is prepared for planning approval from the City of Greater Geraldton and should not be used for any other purpose. No liability will be accepted where the plan is used for purposes other than that indicated, including marketing of the proposed lots.
- This plan is prepared using information provided by Landgate. The data extracted from Geospatial Databases is intended for informational purposes only.
- Concrete footpath to be provided @ min 1000mm width between shared zone and access ramp to office. Accessible parking bay and shared zone to be concrete or similar approved hard stand as required.

- SUBJECT AREA
- OFFICE BUILDING
- ABLUTIONS
- STORAGE (TRANSIT STORAGE ONLY)
- STORAGE (WORKSHOP STORAGE ONLY)
- WORKSHOP
- PROPOSED VEGETATION
- NON-PERMANENT STRUCTURE RELOCATED TO TRANSIT STORAGE AREA
- TRAFFIC FLOW INDICATOR (LARGE VEHICLES ONLY)
- INDICATIVE WATER TANK LOCATION

DEVELOPMENT PROVISIONS	MINIMUM REQUIREMENTS	ACTUAL PROVISION	COMPLIANT
CITY OF GREATER GERALDTON ZONING		RURAL	N/A
PROPOSED USE		TRANSPORT DEPOT	*
TRANSPORT DEPOT PARKING REQUIREMENTS	1 BAY PER 100m ² (combined total building footprint area = 171m ²)	5	✓

* use is not permitted unless the local government has exercised its discretion by granting development approval after giving notice in accordance with clause 64 of the deemed provisions.

transport depot means premises used primarily for parking or garaging of 3 or more commercial vehicles including:
(a) any ancillary maintenance or refuelling of those vehicles; and
(b) any ancillary storage of goods bought to the premises by those vehicles; and
(c) the transfer of goods or persons from one vehicle to another.



TITLE: APPLICATION AREA SITE PLAN
LOT 2 ON PLAN 50171
ARTHUR ROAD
BOOTENAL

CLIENT:
S & K O'BRIEN

CERTIFICATE OF TITLE(S) :
2679 / 428

DATE LAST MODIFIED:
12/02/2019

REV: DATE: DETAILS:

APPROVED:

PLAN:

FIGURE 3

DESIGNED: GMB

DRAWN: DSH

SCALE: 1 : 1000 @A3

* This plan remains the property of Landwest and must not be used for any purpose other than which it was prepared for, in relation to the land duly described, Landwest accepts no responsibility for any losses or damages caused to any person/s who may use the information for a purpose for which it was not intended.



NOTES

- 1. Final position of Office subject to change. General location indicated on plan.
- 2. Building internal configuration and openings indicative only and subject to change.
- 3. Buildings to be connected to on-site potable water supply and on-site solar power supply and effluent disposal systems as required by local authority.
- 4. FFL subject to building certification for site works, footings, and method of tie down for transportable units.
- 5. Space between ground and floor level to be enclosed (cladding product or similar).
- 6. Office to be tied to concrete piers. Tie down method subject to engineering certification at building permit stage.
- 7. External walls zincalume sheet cladding or similar.

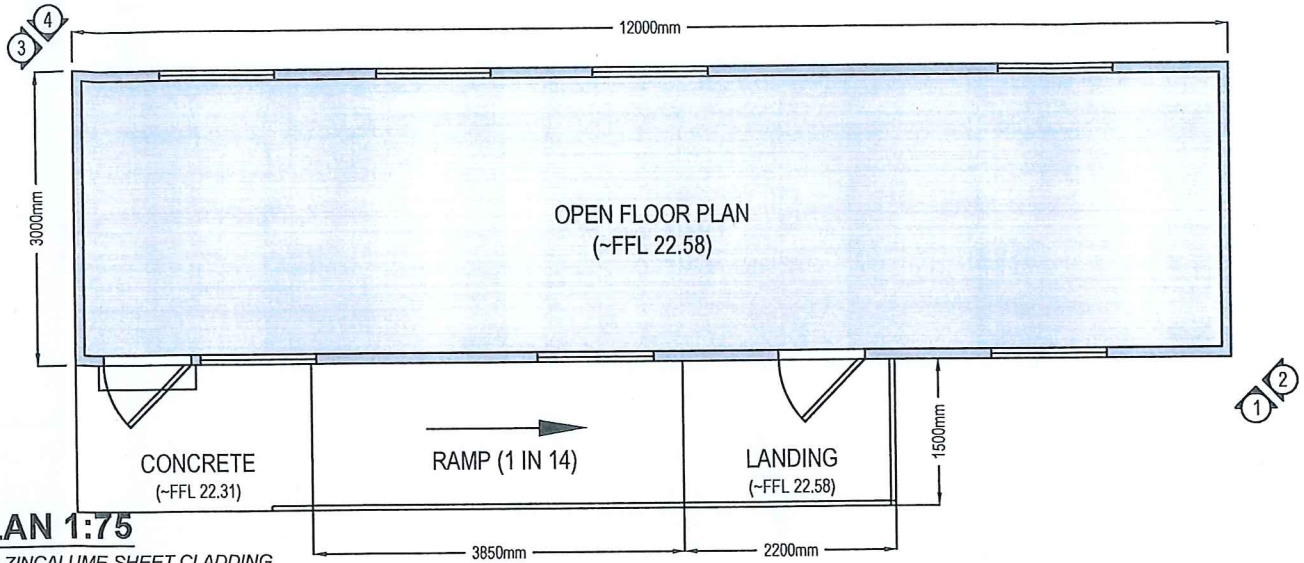
STORMWATER CALCULATIONS

PROPOSED STRUCTURE	
ROOF AREA	36m ²
RAMP & LANDING	9.07m ²
TOTAL AREA	45.07m ²
VOLUME REQUIRED (45.07 X 0.9) / 60 =	0.67m ³

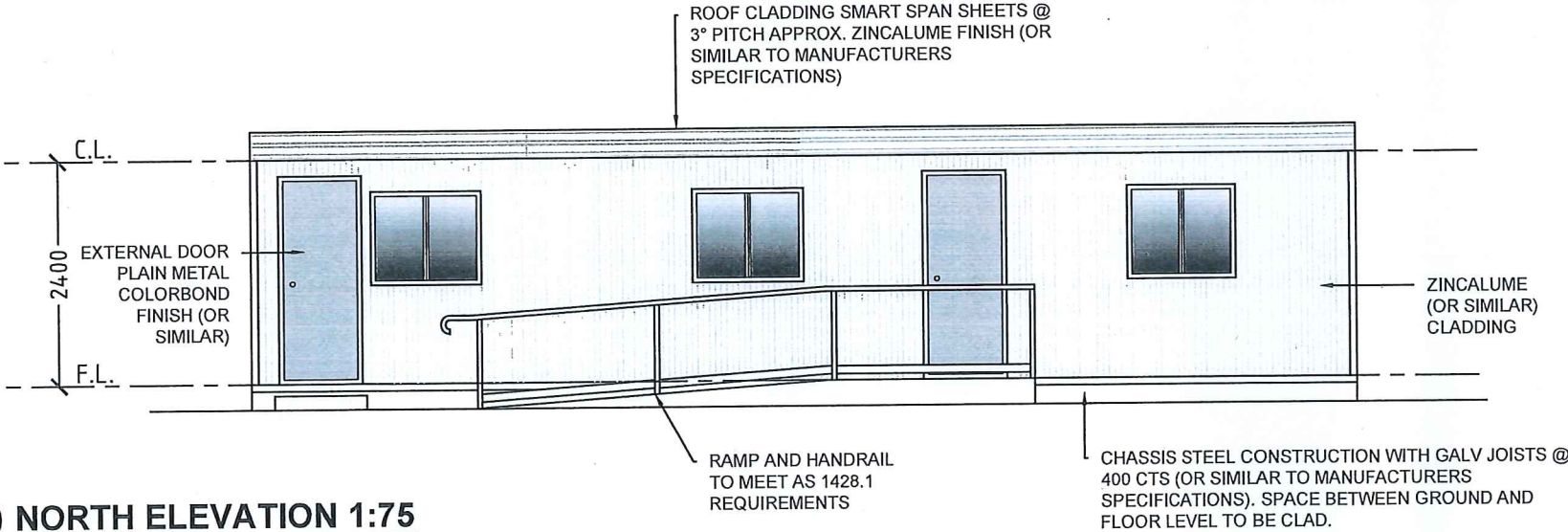
Drainage will be catered for with soak wells. All paved areas to fall toward landscaping. New rain water collection tanks are proposed to cater for stormwater collection. Soak wells to be located minimum 2.0m from all footings. Final location of roof plumbing and soak wells to be determined at detailed design and building phase.

FLOORPLAN 1:75

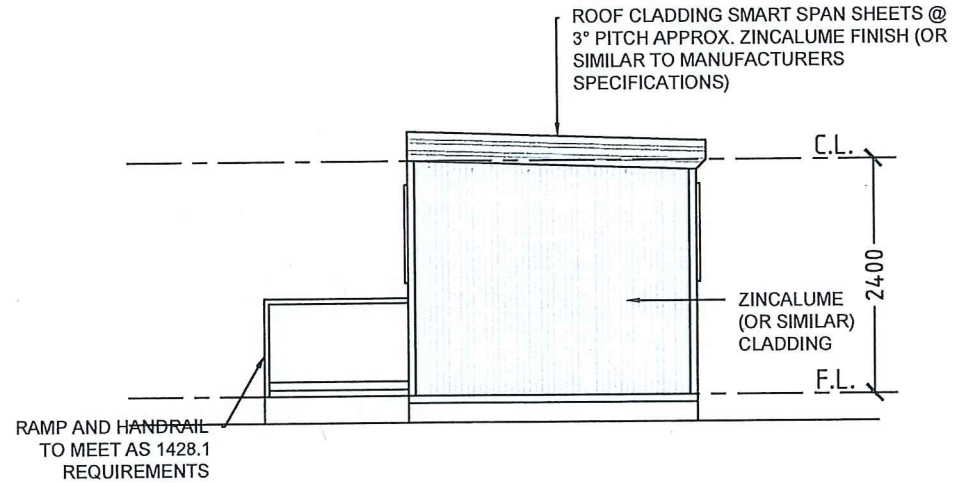
EXTERNAL WALLS ZINCALUME SHEET CLADDING
STEEL FRAME
AREA : 36m²



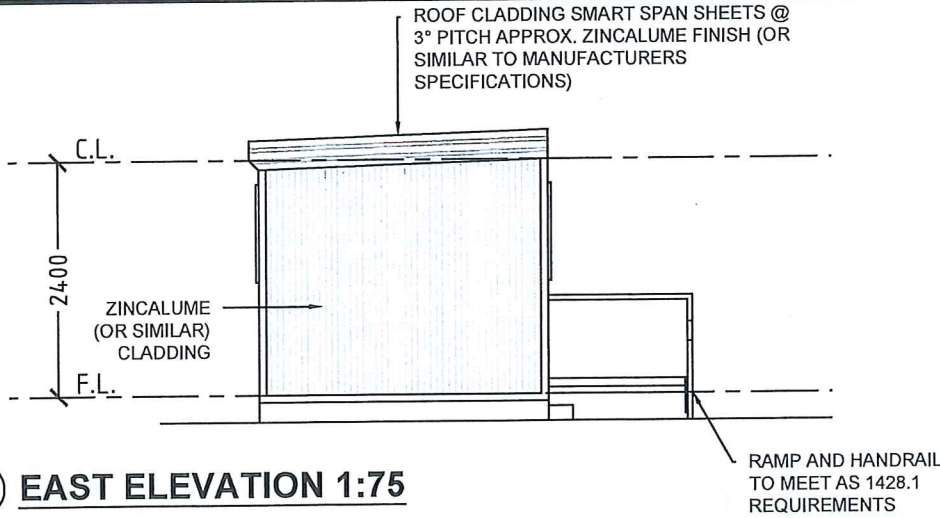
1 NORTH ELEVATION 1:75



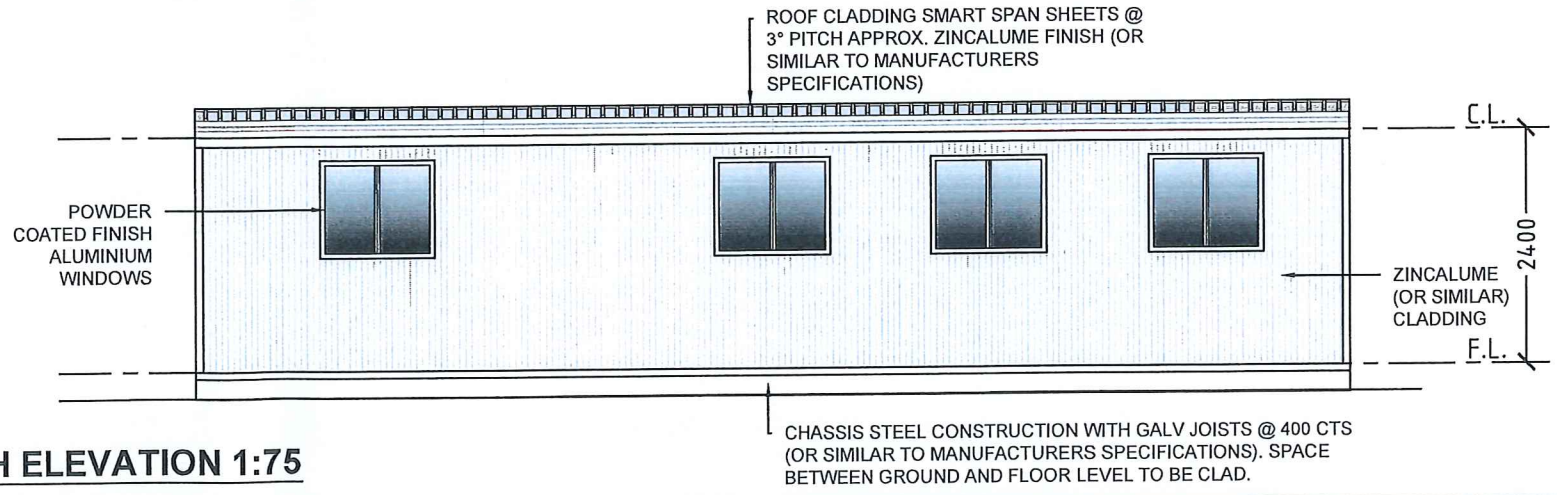
2 WEST ELEVATION 1:75



3 EAST ELEVATION 1:75



4 SOUTH ELEVATION 1:75



TITLE: PROPOSED SITE OFFICE
LOT 2 ON PLAN 50171
ARTHUR ROAD
BOOTENAL

CLIENT:
S & K O'BRIEN

CERTIFICATE OF TITLE(S) :
2679 / 428

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DESIGNED: GMB

DRAWN: DSH

FIGURE 4

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SCALE: 1 : 75 @A3

- NOTES
1. Final position of ablutions subject to change. General location indicated on plan.
 2. Building internal configuration and openings indicative only and subject to change.
 3. Buildings to be connected to on-site potable water supply and on-site solar power supply and effluent disposal systems as required by local authority.
 4. FFL subject to building certification for site works, footings, and method of tie down for transportable units.
 5. Space between ground and floor level to be enclosed (cladding product or similar).
 6. Structure to be tied to concrete piers. Tie down method subject to engineering certification at building permit stage.
 7. External walls zincalume sheet cladding or similar.

STORMWATER CALCULATIONS

PROPOSED STRUCTURE	
ROOF AREA	18m ²
RAMP & LANDING	6.45m ²
TOTAL AREA	24.45m²
VOLUME REQUIRED	
(24.45 X 0.9) / 60 =	0.37m ³

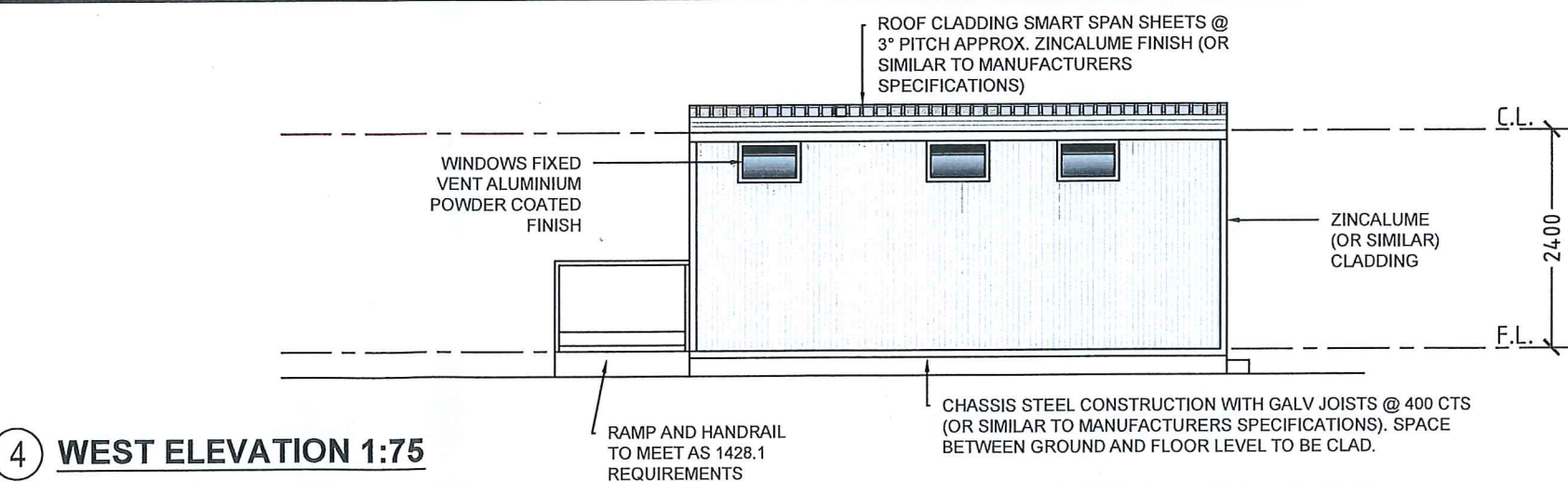
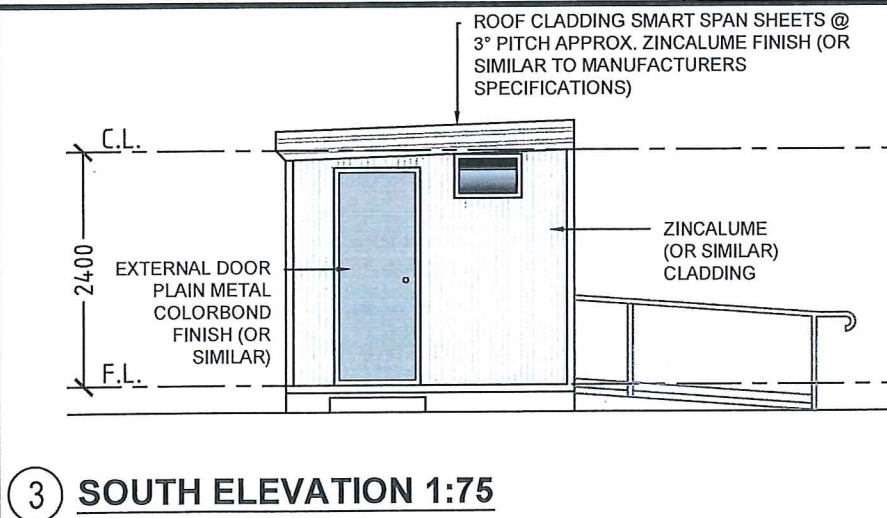
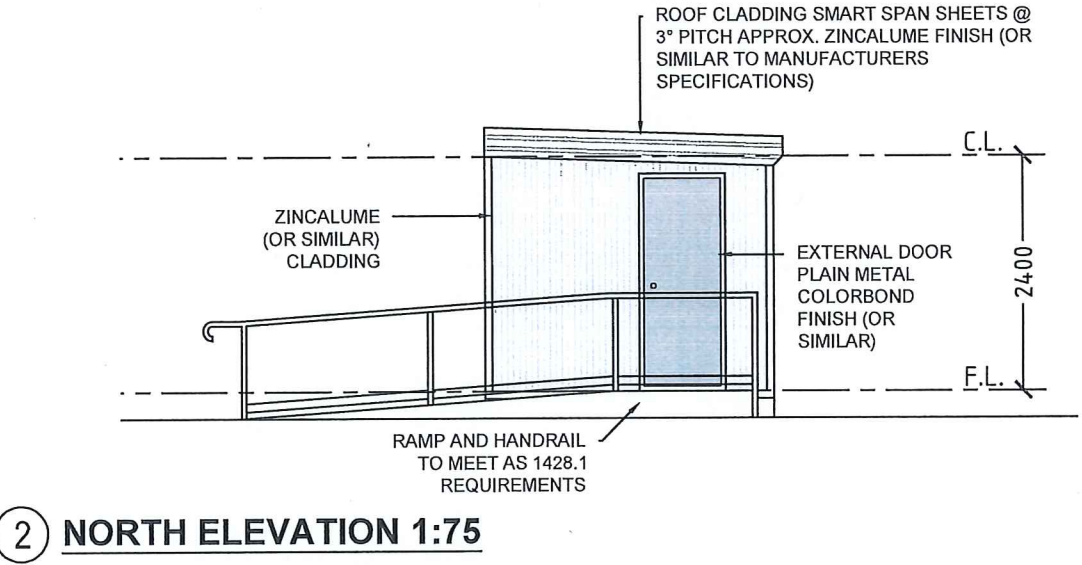
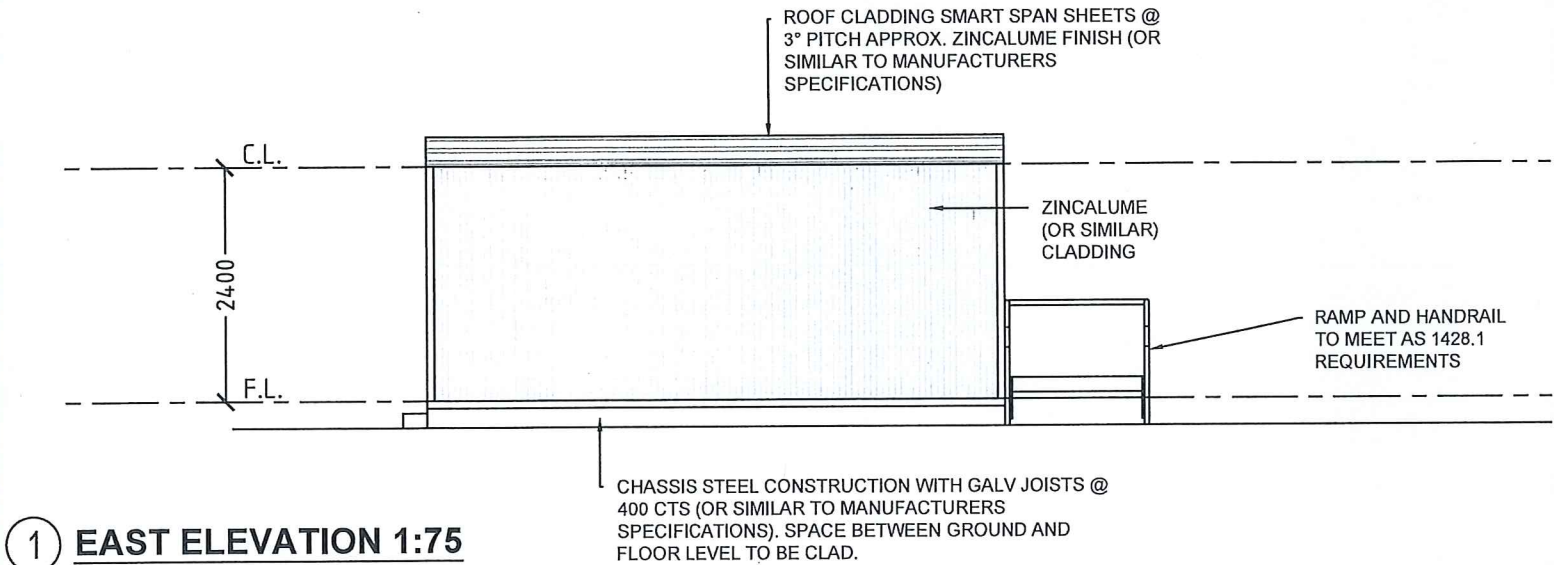
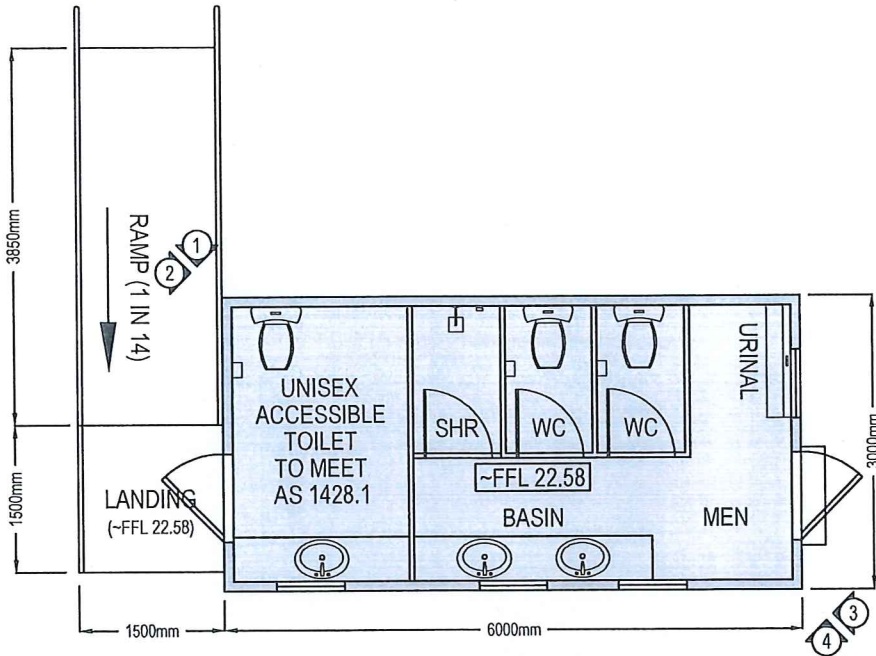
Drainage will be catered for with soak wells. All paved areas to fall toward landscaping. New rain water collection tanks are proposed to cater for stormwater collection. Soak wells to be located minimum 2.0m from all footings. Final location of roof plumbing and soak wells to be determined at detailed design and building phase.

SANITARY FACILITY CALCULATIONS

AREA PER PERSON STORAGE / WORKSHOP	30m ²	477m ² ~ 16 PEOPLE
AREA PER PERSON OFFICE	10m ²	34m ² ~ 4 PEOPLE
SANITARY FACILITIES PROPOSED AS PER TABLE F2.3 OF THE NCC 2016 BCA VOLUME ONE (equal division of male and female occupants assumed)		
~ 10 FEMALE EMPLOYEES	1 CLOSET PAN	1 WASH BASIN
~ 10 MALE EMPLOYEES	1 CLOSET PAN 1 URINAL	1 WASH BASIN
Note: Accessible Toilet to be used as unisex accessible facility and designated as female sanitary facility.		

FLOORPLAN 1:75

EXTERNAL WALLS ZINCALUME SHEET CLADDING
STEEL FRAME
AREA : 18m²



TITLE: PROPOSED ABLUTIONS
LOT 2 ON PLAN 50171
ARTHUR ROAD
BOOTENAL

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APPROVED:

BY: APPROVED:

PLAN:

FIGURE 5

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SCALE: 1 : 75 @A3

DESIGNED: GMB

DRAWN: DSH

N

NOTES

1. Final position of shipping containers and domes subject to survey. General location indicated on plan.
2. FGL subject to site works.
3. Shipping containers and Container Domes to be installed according to manufacturers specification.
4. Shipping container dimensions and areas indicative only and subject to brand and size acquired.
5. Dimensions and information derived from **Container Domes Australia** Information sheet as provided.
6. Dome to be secured to containers to manufacturers specification. Containers to be tied to concrete piers. Tie down method subject to engineering certification at building permit stage.

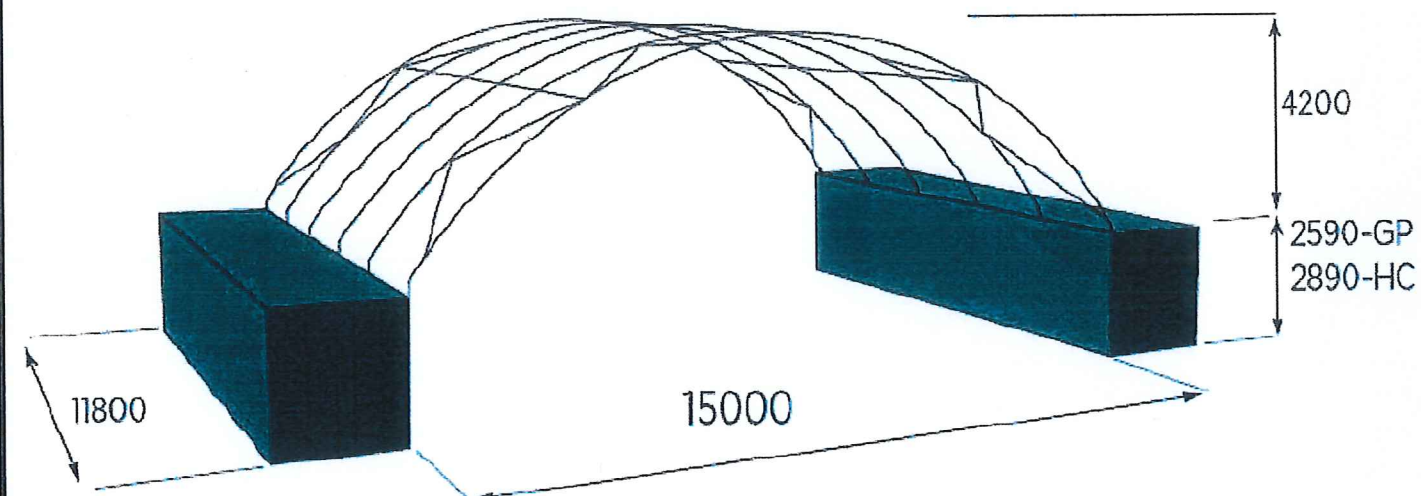
STORMWATER CALCULATIONS

PROPOSED STRUCTURE

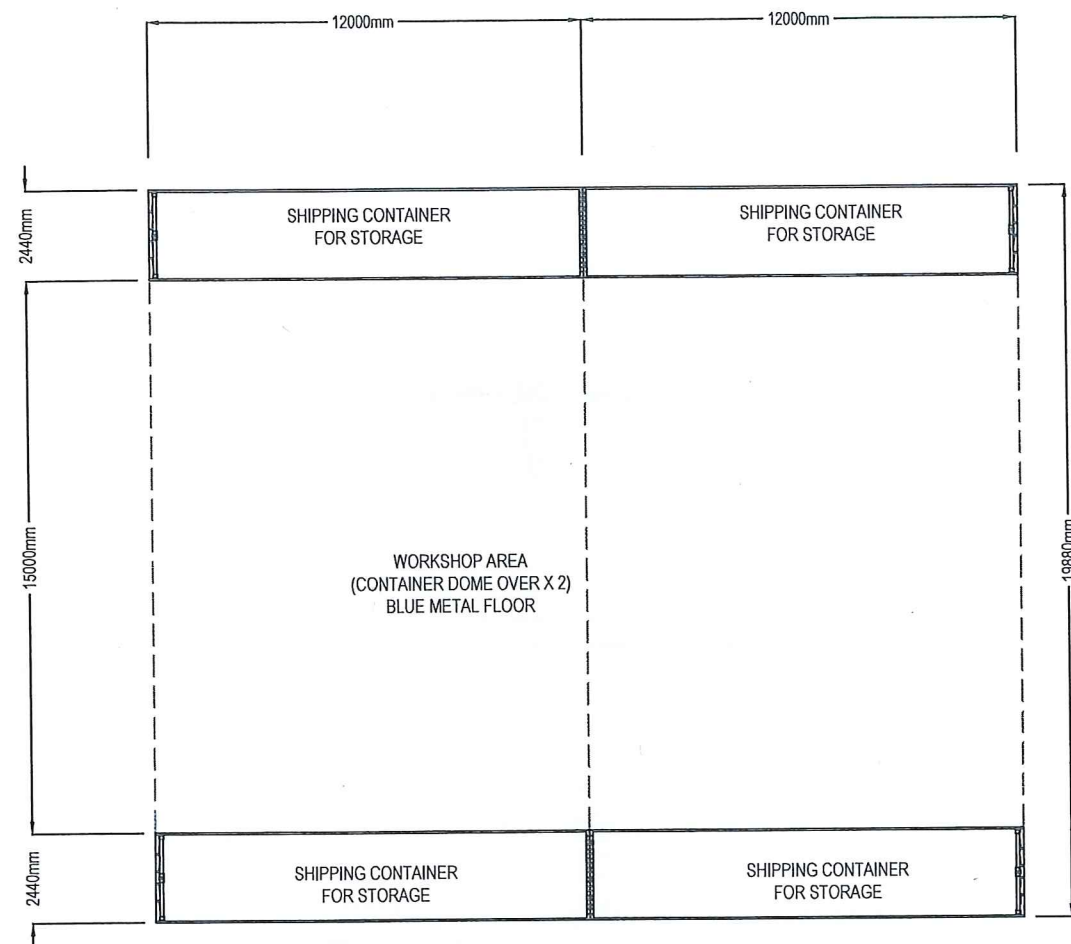
ROOF AREA - DOME	360m ²
ROOF AREA - CONTAINERS	117m ²
TOTAL AREA	477m²

VOLUME REQUIRED (477 X 0.9) / 60 =	7.16m ³
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Drainage will be catered for with soak wells. All paved areas to fall toward landscaping. New rain water collection tanks are proposed to cater for stormwater collection. Soak wells to be located minimum 2.0m from all footings. Final location of roof plumbing and soak wells to be determined at detailed design and building phase.

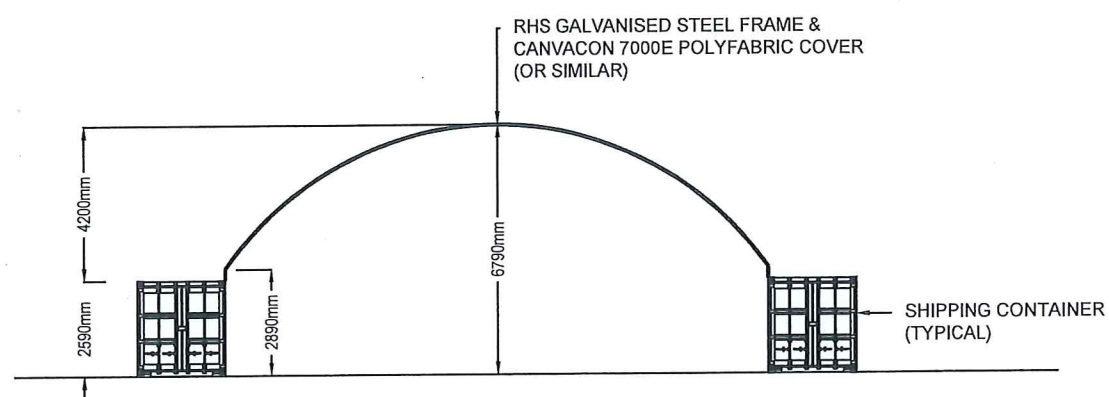


3D MODEL NTS - EXCERPT FROM CONTAINER DOMES AUSTRALIA INFORMATION SHEET

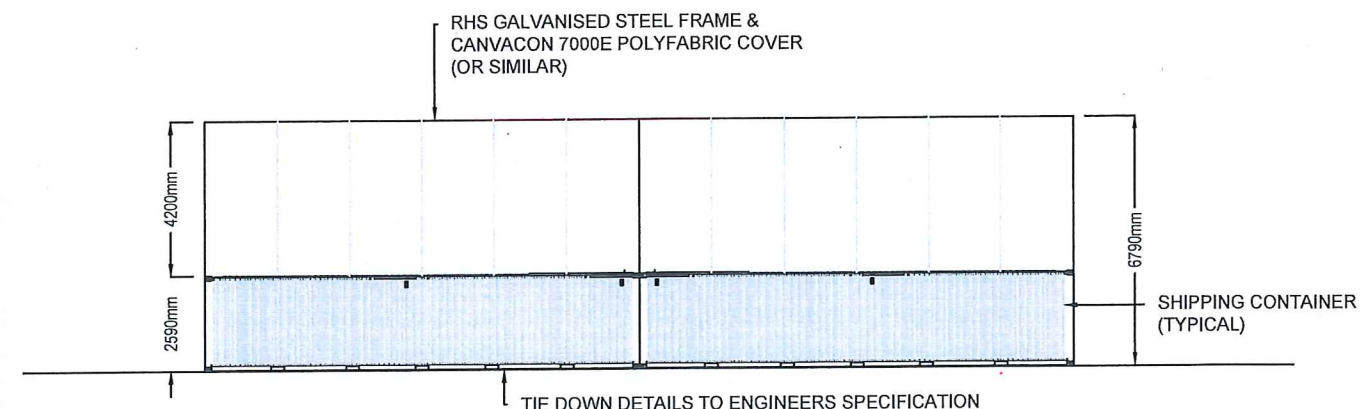


INDICATIVE WORKSHOP PLAN 1:200

EXTERNAL WALLS (SHIPPING CONTAINERS) STEEL
DOME - RHS GALVANISED STEEL FRAME WITH POLYFABRIC COVER
AREA : 477m²



NORTH & SOUTH ELEVATION 1:200



WEST & EAST ELEVATION 1:200

TITLE: PROPOSED CONTAINER DOMES
LOT 2 ON PLAN 50171
ARTHUR ROAD
BOOTENAL

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PLAN:

FIGURE 6

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