

Mixed Use zone Information Sheet

1.0 INTRODUCTION

This information is an extract only from the City of Greater Geraldton Local Planning Scheme No. 1 (the Scheme). It is provided for information purposes only. There may be additional requirements that apply to specific sites and for development applications.

For further information please contact the City's Town Planning team on:

Phone: (08) 9556 6600
Email: townplanning@cityofgeraldton.wa.gov.au
In person: Administration Centre, 63 Cathedral Avenue, Geraldton
Mullewa Office, or Thomas and Padbury Streets (by appointment only)

2.0 MIXED USE ZONE OBJECTIVES

- provide for a wide variety of active uses on street level which are compatible with residential and other non-active uses on upper levels;
- provide for the establishment of a mix of high density residential development with small-scale retail and commercial businesses in a residential scale environment that provides an area of transition between centres and surrounding residential areas;
- provide for development that complements but does not compete with the established and/or planned hierarchy of centres;
- ensure that development is at a human-scale with buildings, facilities and uses that activate and address the street in a manner sympathetic to the desired urban character of the area.

3.0 SITE AND DEVELOPMENT REQUIREMENTS

Minimum lot size	Variable
Minimum setback	2 metres
Primary street	Variable
Secondary street / side boundary	or as per R-Codes where adjoining Residential zone
Minimum setback	3 metres
Side boundary / other	or as per R-Codes where adjoining Residential zone
Maximum plot ratio	0.9
Maximum building height	As per R-Codes
Minimum landscaping	10%

SITE DESIGN NOTES:

LOT 28 1478m² x 10% = 148.7m²

121.8m² = 8.2% LANDSCAPING PROVIDED QUALITY LANDSCAPING ON SITE. (SEE COVER LETTER)

3.1 Prior to approving development or considering subdivision the local government may require design guidelines to be prepared and adopted as a local planning policy.

3.2 Where mixed use development incorporating a residential component is proposed in a building, the residential component should be restricted to above the ground floor level.

4.0 ZONING TABLE

The symbols used in zoning table have the following meanings:

- P means that the use is permitted if it complies with any relevant development standards and requirements of the Scheme.
- I means that the use is permitted if it is consequent on, or naturally attaching, appertaining or relating to the predominant use of the land and it complies with any relevant development standards and requirements of the Scheme.
- D means that the use is not permitted unless the local government has exercised its discretion by granting development approval.
- A means that the use is not permitted unless the local government has exercised its discretion by granting development approval after giving notice in accordance with the Scheme.
- X means that the use is not permitted by the Scheme.

Land Use	Regional Centre	Commercial	Local Centre	Neighbourhood Centre	Neighbourhood	Residential	General Industry	Light Industry	Business
Multi-story Office	X	X	X	X	X	X	X	X	X
Office	D	X	X	X	X	X	X	X	X
Hotel	D	D	D	D	X	X	X	X	X
Medical Centre	D	D	D	D	X	X	X	X	X
Medical Operations	D	D	D	D	X	X	X	X	X
Motor Vehicle Wash or Caravan Sales	X	X	X	X	X	X	X	X	X
Motor Vehicle Wash	X	X	X	X	X	X	X	X	X
Motor Vehicle Wash	X	X	X	X	X	X	X	X	X
Motor Vehicle Wash	X	X	X	X	X	X	X	X	X

3.19 Non-conforming uses

3.19.1 Unless specifically provided, this Scheme does not prevent:

- the continued use of any land, or any structure or building on land, for the purpose for which it was being lawfully used immediately before the commencement of this Scheme; or
- the carrying out of any development on that land if:
 - before the commencement of this Scheme, the development was lawfully approved; and
 - the approval has not expired or been cancelled.

3.19.2 Clause 3.19.1 does not apply if:

- the non-conforming use of the land is discontinued; and
- a period of 6 months, or longer period approved by the local government, has elapsed since the discontinuance of the non-conforming use.

3.19.3 Clause 3.19.1 does not apply in respect of a non-conforming use of land if, under Part 11 of the Act, the local government:

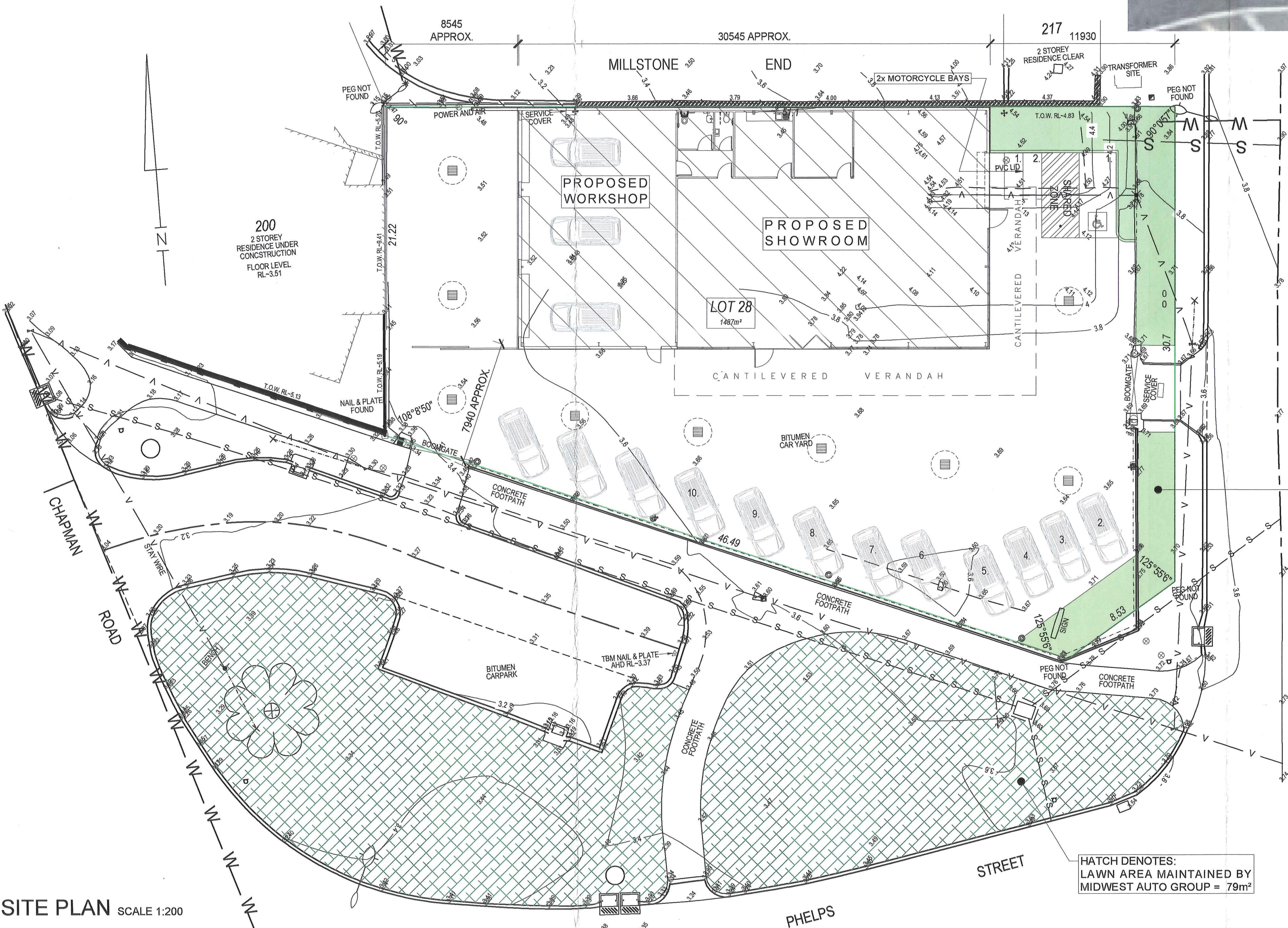
- purchases the land; or
- pays compensation to the owner of the land in relation to the non-conforming use.

Use Class Category / Land Use in Zoning Table	Minimum Number of Car Parking Spaces	Minimum Number of Motor / Patron / Bicycle Parking Spaces	Minimum Number of Motorcycle / Scooter Parking Spaces
Regional Centre Zone			
All development (EXCLUDING permanent residential accommodation)	1 per 35m ²	1 for every 10 car parking spaces (minimum of 2)	
Residential Uses			
Permanent Residential Accommodation (Apartment or Independent Person Dwelling, Caretaker's Dwelling, Family Day Care, Grouped Dwelling, Holiday House, Home Occupation, Multiple Dwelling, Residential Building, Single House)	As per R-Codes	As per R-Codes	
Home Based (Bed and Breakfast, Home Business)	As per R-Codes plus 1 bay	NI	
Commercial Uses			
Entertainment (Night Club, Small Bar, Tavern)	1 per 4 patrons	1 per 50m ² (minimum of 2)	
Health Care and Medical (Consulting Rooms, Medical Centre, Veterinary Centre)	5 per practitioner	1 per 4 practitioner	
Child Care Premises	1 per staff member plus 4	2	
Office (Office - Small Scale)	1 per 50m ²	1 per 400m ²	
Commercial (Bully Goods Showroom, Dry Cleaning Premises (Laundromat, Garden Centre, Machinery Sales, Motor Vehicle Wash, Motor Vehicle, Boat or Caravan Sales))	1 per 50m ²	NI	
Retail Uses			
Shopping (Convenience Store, Discount Department Store, Liquor Store, Market, Shop, Shopping Centre, Supermarket)	1 per 20m ²	1 per 200m ²	
Food & Beverage (Theatrical Centre, Restaurant / Café, Winery)	1 per 4 patrons	2	
Fast Food Outlet	1 per 4 patrons plus (if applicable) 10 drive-through stack bays	2	
Tourism Uses			
Accommodation (Holiday Accommodation, Hotel, Motel, Serviced Apartment, Tourist Development)	1 per unit plus (if applicable) 1 per 4 patrons	1 per 30 units	
Civic, Cultural and Community Uses			
Exhibition and Entertainment (Cinema / Theatre, Club Premises, Exhibition Centre, Place of Worship, Recreation - Private)	1 per 4 patrons	1 per 500m ² (minimum of 2)	

2 for every 15 car parking spaces



AERIAL PHOTOGRAPH SITE PLAN SCALE 1:200



LANDSCAPING LEGEND:

- NEW LANDSCAPING = 121.8m²
- LAWN AREA MAINTAINED BY MIDWEST AUTO GROUP = 79m²

HATCH DENOTES:
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