

TITLE : CONTOUR & FEATURE SURVEY

BUILDER :

CLIENT : LINDA SCHMIDT

DRAWN BY : S. D'MELLO

DATE : 23rd JULY '14

DATUM : ASSUMED

NOTES :

BOUNDARY & PEG POSITIONS NOT GUARANTEED
SOIL TYPE INDICATIVE ONLY - NOT SUBSTITUTE FOR GEOTECHNICAL REPORT
GAS INFORMATION SUPPLIED VERBALLY FROM ALINTA GAS AND IS NOT GUARANTEED
SURVEY LOCATES VISIBLE SERVICES ONLY - RING 'DIAL BEFORE YOU DIG' FOR UNDERGROUND SERVICE INFORMATION (1100)
POSITION OF UNDERGROUND SERVICES INTERPRETED FROM WATER CORPORATION SPATIAL DATABASE AND IS NOT GUARANTEED

SCALE :

1:200 @ A3

LOCATION : LOT 40 CHAPMAN ROAD, SUNSET BEACH

AUTHORITY : CITY OF GREATER GERALDTON

PLAN : 8754

VOLUME/FOLIO : 506-195A

Quantum
SURVEYS

P (08) 9965 0077
F (08) 9965 0088
PO Box 695
Geraldton WA 6531
info@quantumsurveys.com.au
quantumsurveys.com.au

SITE DETAILS :

Drainage - GOOD
Electrical - OVERHEAD
Footpath - YES
Gas - YES
Kerb - BARRIER
Road - BITUMEN
Sewer - YES
Telecom - YES
Water - YES

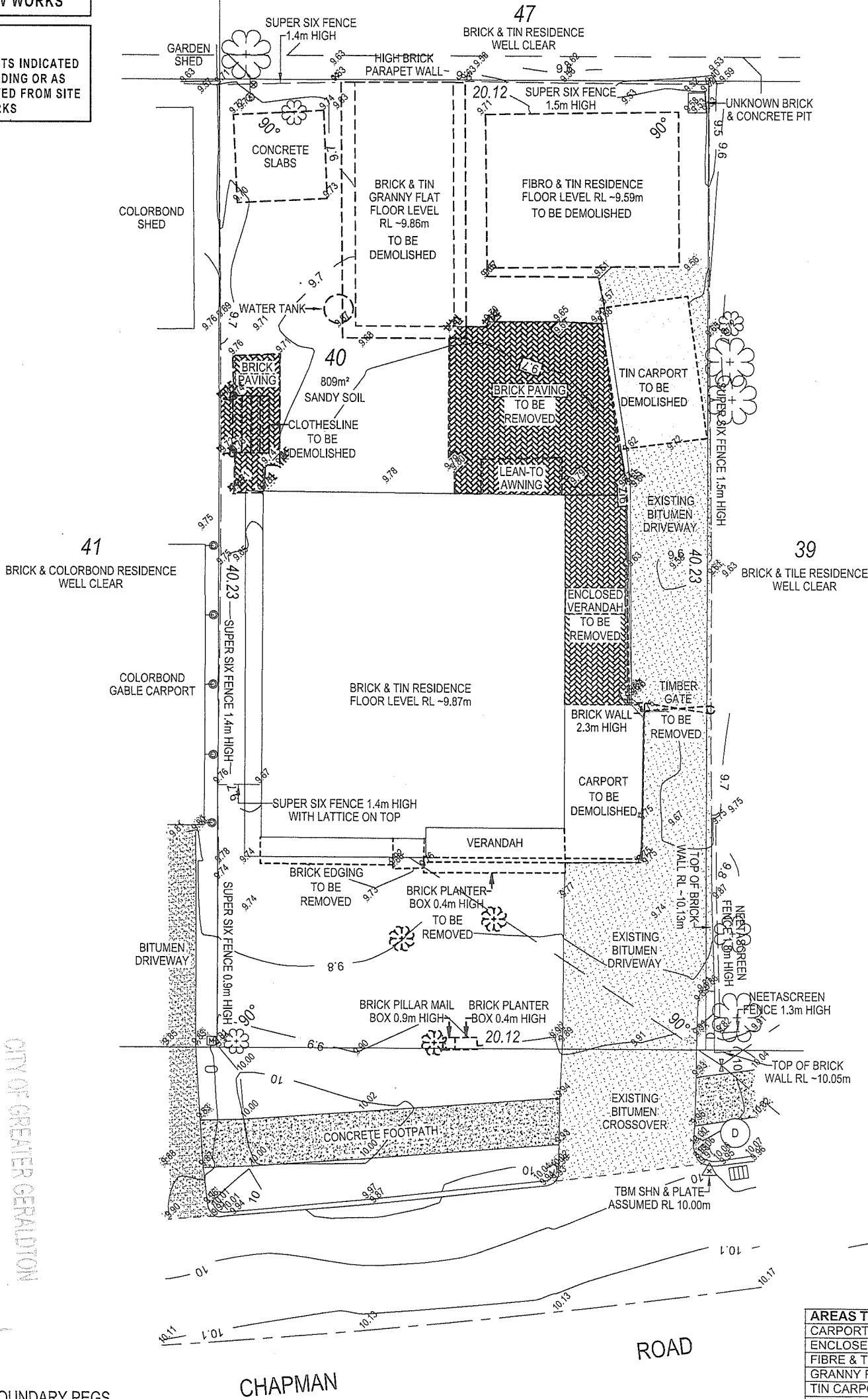
DRAWING No. :

14392FS01

RE-PEG RECOMMENDED
PRIOR TO ANY NEW WORKS

NOTE :
ALL DEMOLITION ELEMENTS INDICATED
BY DASHED LINES, SHADING OR AS
NOTED ARE TO BE REMOVED FROM SITE
PRIOR TO WORKS

LEGEND	
	- T.B.M.
	- TELSTRA PIT
	- POWER POLE
	- WATER METER
	- TAP
	- SEWER PROPERTY CONNECTION
	- UNKNOWN PVC PIPE
	- DRAINAGE GRATE
	- DRAINAGE MANHOLE
	- POST
	- MAIL BOX
	- TREE
	- TOP OF BANK
	- CHANGE IN GRADE
	- FENCE
	- BUILDING
	- EDGE OF EAVES
	- STRUCTURE
	- BRICK WALL
	- EDGE OF CONCRETE
	- TOP OF KERB
	- BOTTOM OF KERB
	- ROAD CENTRE
	- POWER LINE
	- ASSUMED SEWER ALIGNMENT



AREAS TO BE DEMOLISHED	M²	PERIM.
CARPORT	20.07	19.05
ENCLOSED V'DAH	23.14	22.77
FIBRE & TIN RES	50.62	28.62
GRANNY FLAT	41.05	28.37
TIN CARPORT	21.75	19.21
VERANDAH	7.11	13.98
	163.74 m²	132.00 m

NOTE: CADASTRAL BOUNDARY PEGS
WERE NOT FOUND AT TIME OF SURVEY

The contractor / builder is responsible
for setting out and checking all levels
and measurements on site. All
dimensions are to be checked and
verified by the owner / builder and
any discrepancies in this document

DRAWING NAME:

SITE DEMO

SHEET No:

01 OF 09

REVISION:

R07

JOB No:

0427

CLIENT NAME:

BEUKES

TITLE : CONTOUR & FEATURE SURVEY

BUILDER :

CLIENT : LINDA SCHMIDT

NOTES :
BOUNDARY & PEG POSITIONS NOT GUARANTEED
SOIL TYPE INDICATIVE ONLY - NOT SUBSTITUTE FOR GEOTECHNICAL REPORT
GAS INFORMATION SUPPLIED VERBALLY FROM ALINTA GAS AND IS NOT GUARANTEED
SURVEY LOCATES VISIBLE SERVICES ONLY - RING 'DIAL BEFORE YOU DIG' FOR UNDERGROUND SERVICE INFORMATION (1100)
POSITION OF UNDERGROUND SERVICES INTERPRETED FROM WATER CORPORATION SPATIAL DATABASE AND IS NOT GUARANTEED

SCALE :
1:200 @ A3

DRAWN BY : S. D'MELLO

DATE : 23rd JULY '14

DATUM : ASSUMED

LOCATION : LOT 40 CHAPMAN ROAD, SUNSET BEACH

AUTHORITY : CITY OF GREATER GERALDTON

PLAN : 8754

VOLUME/FOLIO : 506-195A

P (08) 9965 0077
F (08) 9965 0088
PO Box 695
Geraldton WA 6531
info@quantumsurveys.com.au
quantumsurveys.com.au

Quantum
SURVEYS

SITE DETAILS :
Drainage - GOOD
Electrical - OVERHEAD
Footpath - YES
Gas - YES
Kerb - BARRIER
Road - BITUMEN
Sewer - YES
Telecom - YES
Water - YES

DRAWING No. :
14392FS01

BUILDING POSITION & DIMENSIONS HAVE BEEN TAKEN FROM THE PLANS ISSUED BY THE LANDOWNER. ALL DIMENSIONS NOTED ON THESE PLANS ARE TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION & ANY ISSUES RELATING TO NOMINATED SIZES ARE TO BE REFERRED TO BLEND RESIDENTIAL DESIGNS

THIS DESIGN MAY BE SUBJECT TO FURTHER CHANGES DUE TO ADDITIONAL REQUIREMENTS IMPOSED BY LOCAL AUTHORITIES

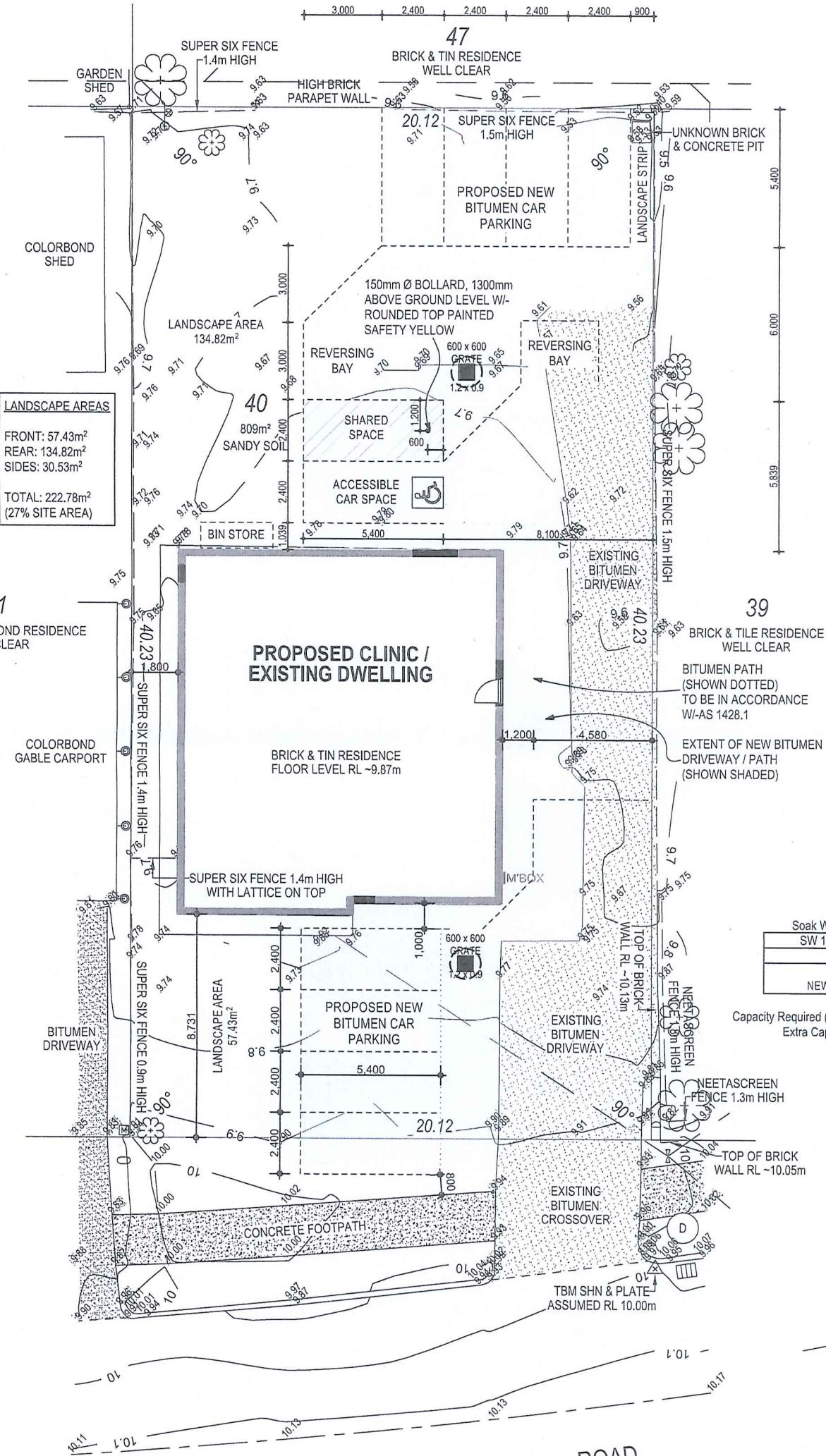
ALL PARKING PROVISIONS TO COMPLY WITH AS 2890.1 & AS 2890.6

STORMWATER DISPOSAL TO BE IN ACCORDANCE W/- AS/NZS 3500.3.2.

RE-PEG RECOMMENDED PRIOR TO ANY NEW WORKS

BANKING NOTE:
SOIL RETENTION TO ALL EMBANKMENTS IS BY OWNER IN ACCORDANCE WITH NCC TABLE 3.1.1.1

REFER TO ENGINEERS DRAWINGS FOR STRUCTURAL DETAILS & LAYOUT



LEGEND	
	- T.B.M.
	- TELSTRA PIT
	- POWER POLE
	- WATER METER
	- TAP
	- SEWER PROPERTY CONNECTION
	- UNKNOWN PVC PIPE
	- DRAINAGE GRATE
	- DRAINAGE MANHOLE
	- POST
	- MAIL BOX
	- TREE
	- TOP OF BANK
	- CHANGE IN GRADE
	- FENCE
	- BUILDING
	- EDGE OF EAVES
	- STRUCTURE
	- BRICK WALL
	- EDGE OF CONCRETE
	- TOP OF KERB
	- BOTTOM OF KERB
	- ROAD CENTRE
	- POWER LINE
	- ASSUMED SEWER ALIGNMENT

Soak Well Type	No.	
SW 1200x900	2	2.0 m3
Total Capacity		2.0 m3
Roof Area GF		0.0 m2
NEW NET H'SCAPE		125.0 m2
Total Area		125.0 m2
Capacity Required (Area x 0.0125)		1.6 m3
Extra Capacity Provided		0.5 m3

NOTE: CADASTRAL BOUNDARY PEGS WERE NOT FOUND AT TIME OF SURVEY

AMENDED PLAN
RECEIVED ON 4/10/2018
CITY OF GREATER GERALDTON

NOTE: CADASTRAL BOUNDARY PEGS WERE NOT FOUND AT TIME OF SURVEY

THE CONTRACTOR / BUILDER IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND MEASUREMENTS ON SITE. ALL DIMENSIONS ARE TO BE CHECKED AND VERIFIED BY THE OWNER / BUILDER AND ANY DISCREPANCIES IN THIS DOCUMENT

DRAWING NAME:
SITE PLAN

SHEET No:
02 OF 09

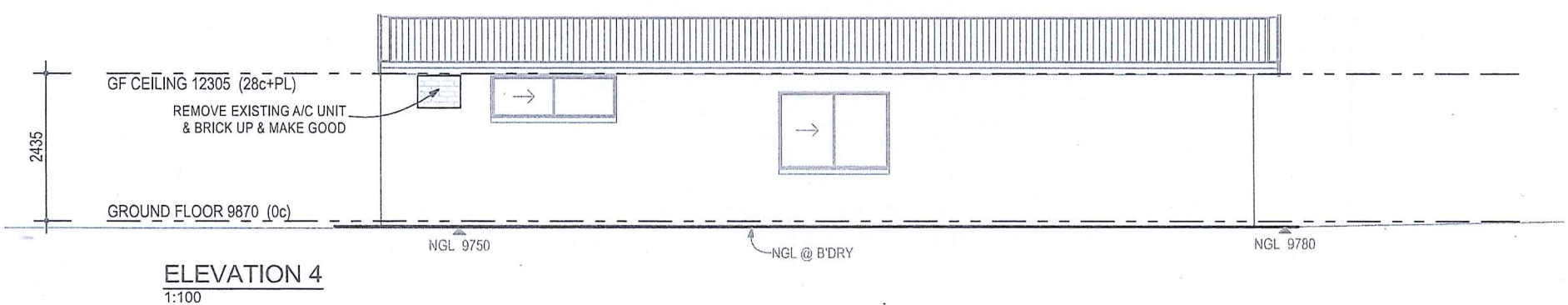
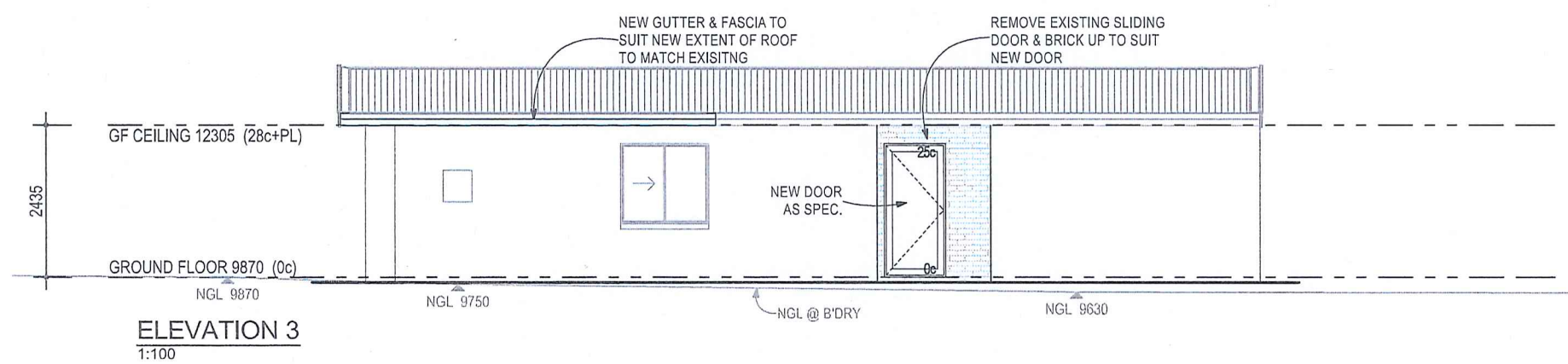
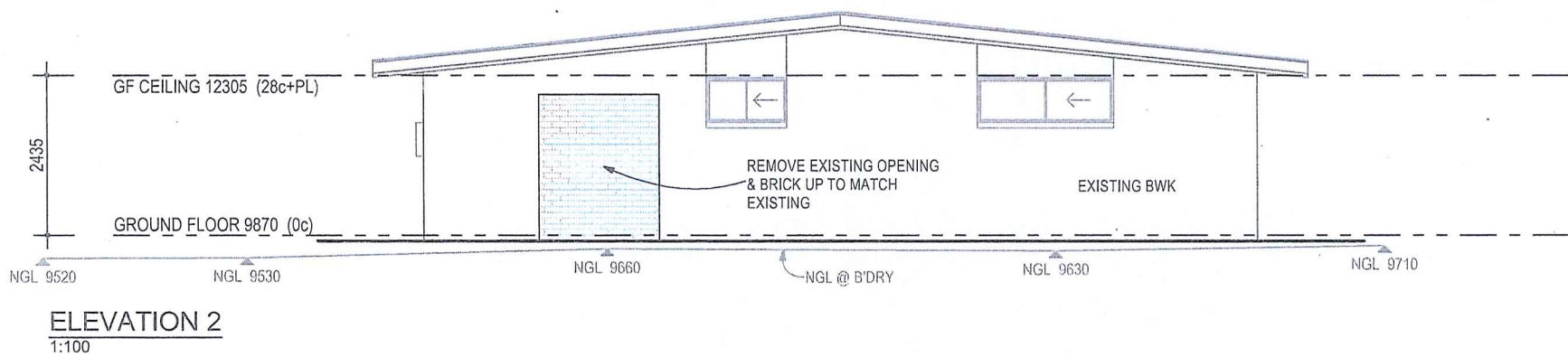
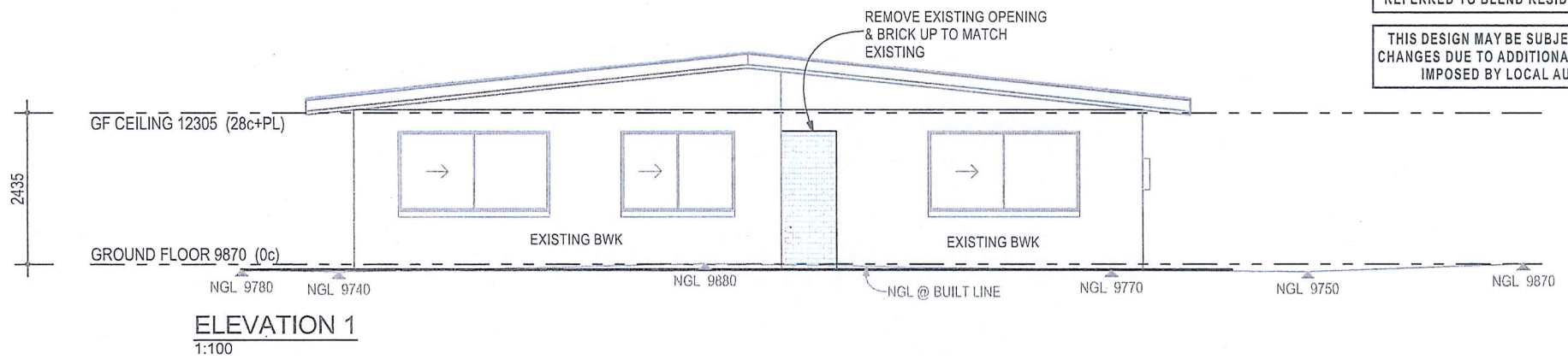
REVISION:
R07

JOB No:
0427

CLIENT NAME:
BEUKES

BUILDING POSITION & DIMENSIONS HAVE BEEN TAKEN FROM THE PLANS ISSUED BY THE LANDOWNER. ALL DIMENSIONS NOTED ON THESE PLANS ARE TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION & ANY ISSUES RELATING TO NOMINATED SIZES ARE TO BE REFERRED TO BLEND RESIDENTIAL DESIGNS

THIS DESIGN MAY BE SUBJECT TO FURTHER CHANGES DUE TO ADDITIONAL REQUIREMENTS IMPOSED BY LOCAL AUTHORITIES



The contractor / builder is responsible for setting out and checking all levels and measurements on site. All dimensions are to be checked and verified by the owner / builder and any discrepancies in this document must be resolved before ordering or

DRAWING NAME:
PROPOSED ELEVATIONS

SHEET No:
07 OF 08

REVISION:
R06

JOB No:
0427

CLIENT NAME:
BEUKES

OWNER

DATE