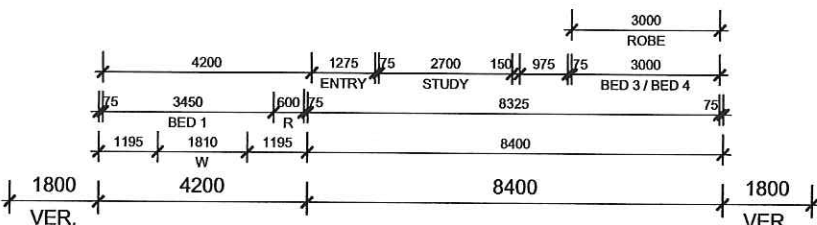
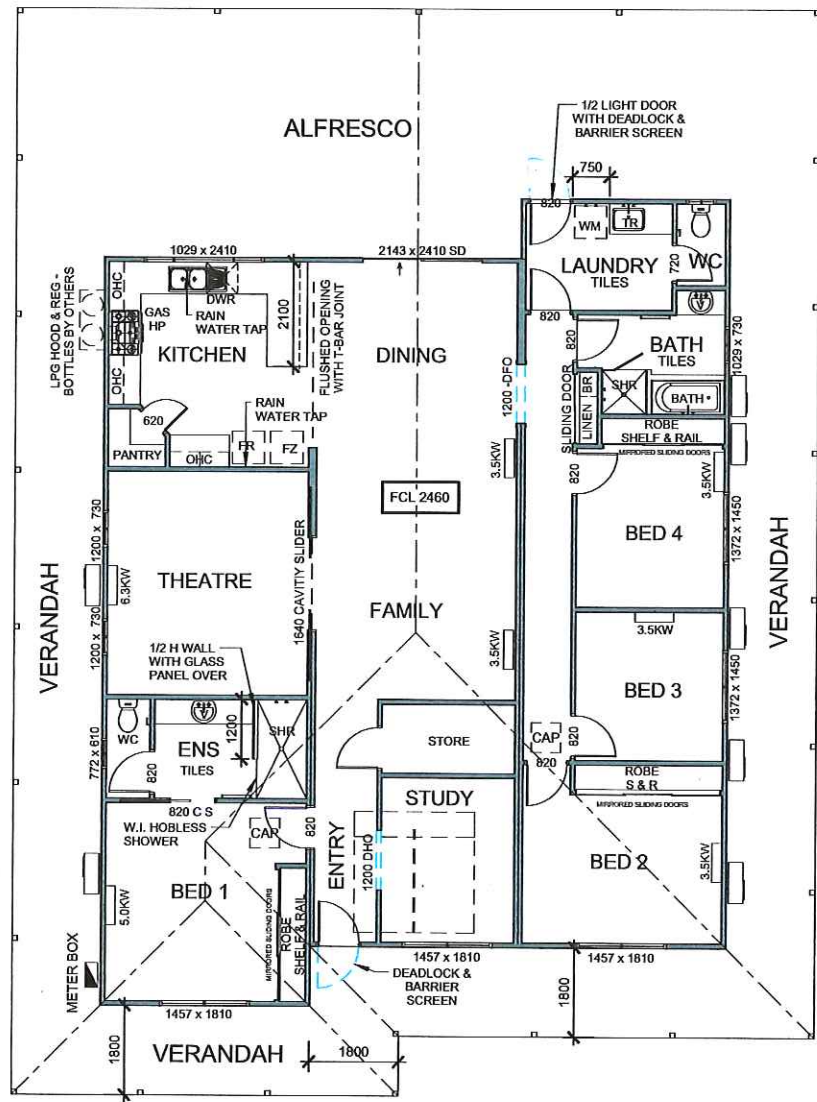
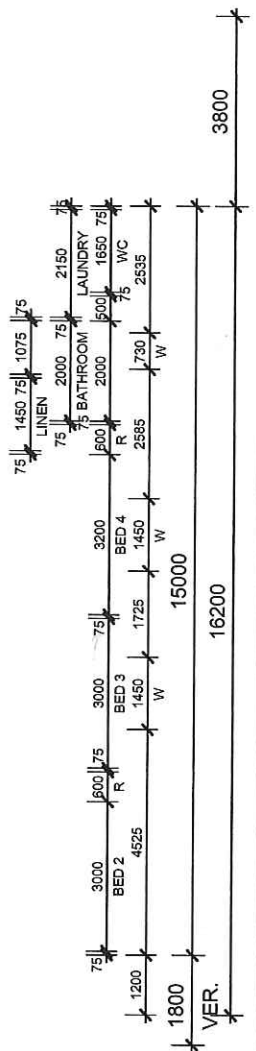
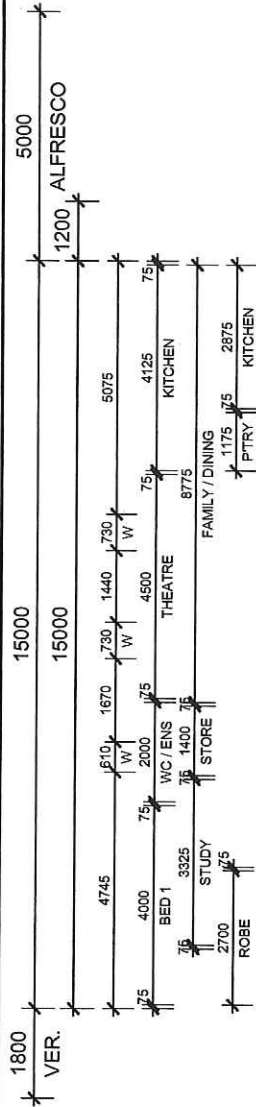
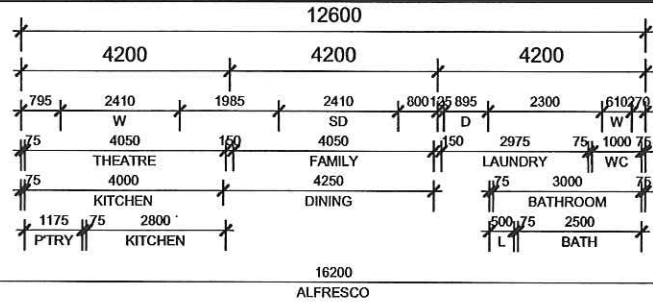


INTERNAL OPENINGS:
 DHO: FLUSHED DOOR HEIGHT OPENING
 DFO: DOOR FRAME OPENING
 FHO: FULL HEIGHT OPENING

CARPENTERS NOTE:
 SILICON BEAD REQUIRED AT
 BASE OF ALL WALL FRAMES
 TO ALL TILED WET AREAS



FLOOR PLAN
 SCALE 1 : 100

AREAS
 HOUSE INC. PORCH: 184.0m²

PROJECT BY: M. AC/N. 063 799 512 A.B./N. 06 063 729 512 TRADING AS

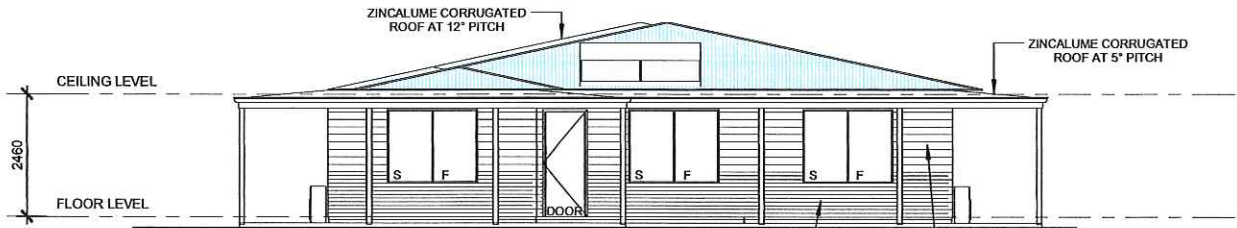
 31 challenge boulevard, wangara, wa 6065
 po box 1229, wangara, wa 6947
 telephone: (08) 9302 1131 fax: (08) 9302 1132 country toll free: 1800 62 1131
 website: www.mcgrathhomes.com.au e-mail: sales@mcgrathhomes.com.au

PROPOSED ORD FOR:
STEVEN & JANELLE ROWE
 LOT14 (#3808)
 MINGENEW-MULLEWA RD
 WONGOONDY

Date	Rev	Description
27.4.16	A	PPA SET
04/05/2016	B	SET OF ARCHITECTURAL DRAWINGS

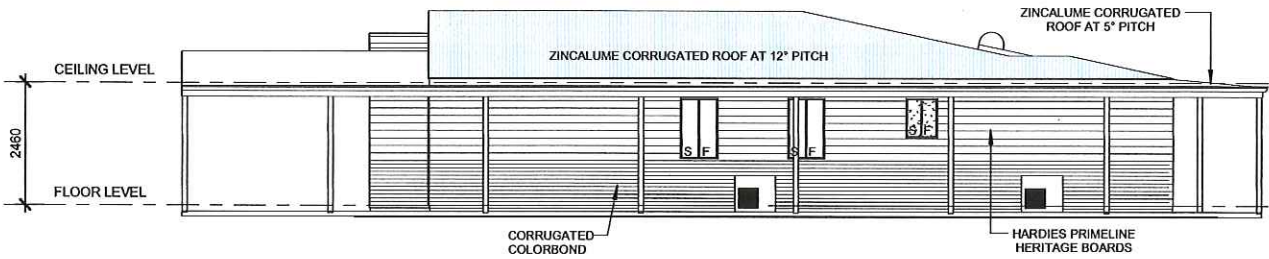
job no.	161010
date	18/04/16
drawn	BR
checked	JD
sheet no.	1 of 10
rev.	B

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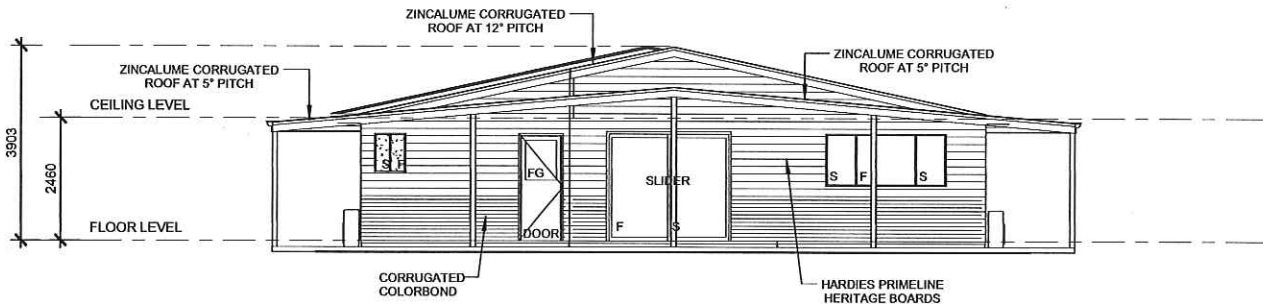
FRONT ELEVATION

SCALE 1 : 100



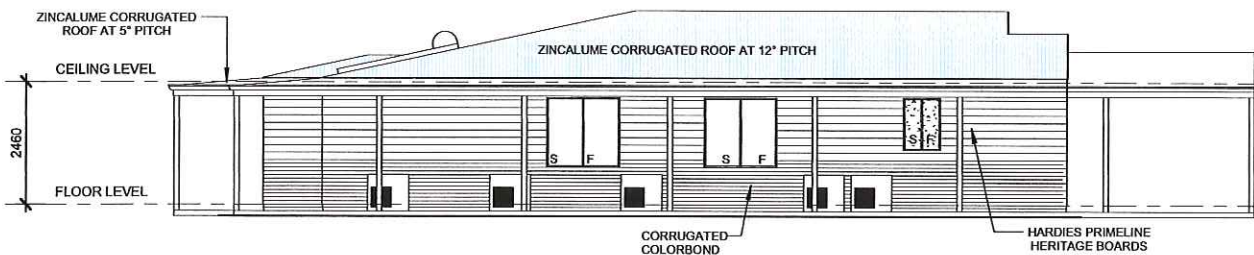
LEFT SIDE ELEVATION

SCALE 1 : 100



REAR ELEVATION

SCALE 1 : 100



RIGHT SIDE ELEVATION

SCALE 1 : 100

PIVOT WAY Pty Ltd. AC/N. 053 739 512 A.B.N. 66 053 739 512 TRADING AS

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STEVEN & JANELLE ROWE

**LOT14 (#3808)
MINGENEW-MULLEWA RD
WONGOONDY**

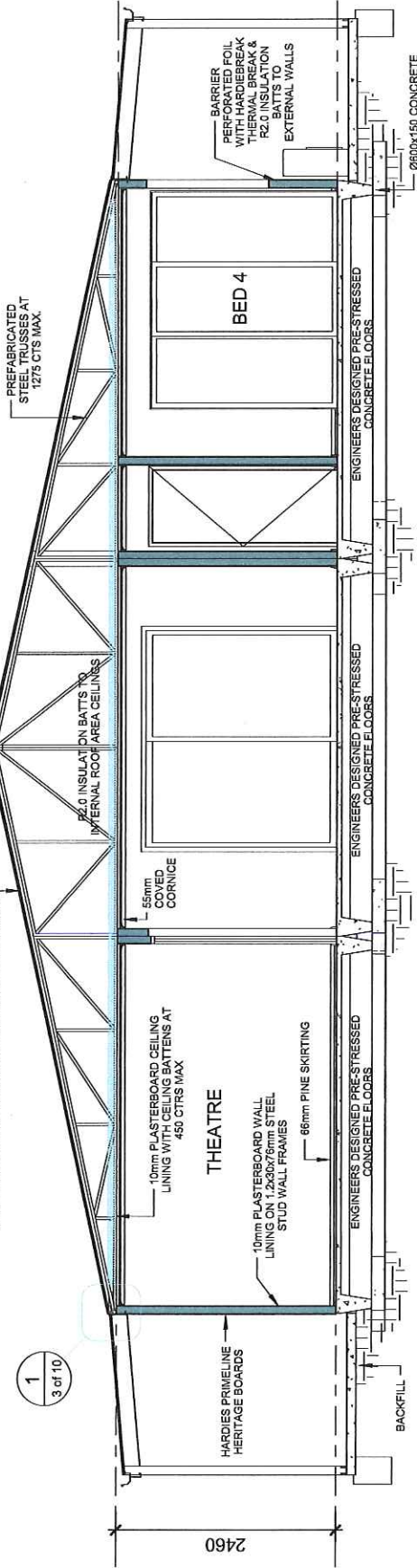
Date	Rev	Description
27.4.16	A	PPA SET
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job no.	161010
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drawn	BR
checked	JD
sheet no.	rev.
2 of 10	B

ROOF BATTEN SPACING
(FOR TOP SPAN (40G.75)
850 MAX. END SPANS
1050 MAX. INTERNAL SPANS)

1
3 of 10

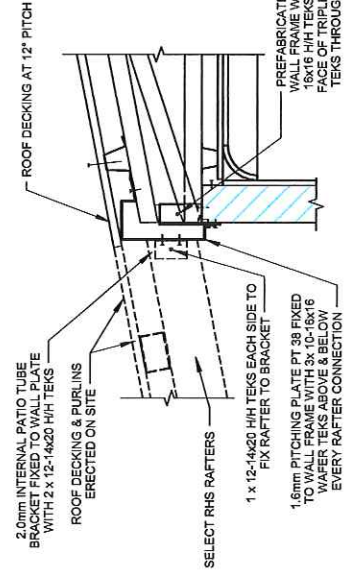
ZINGALUME CORRUGATED ROOF DECKING AT 12° PITCH
WITH 50mm ANTI-CONDENSATION BUILDERS BLANKET UNDER



ALL STRUCTURAL PINE TO BE A MINIMUM OF
H2 TREATED
(EXCLUDES HARDWOOD TIMBERS)

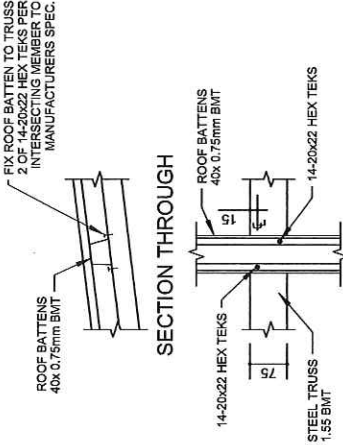
SECTION

SCALE 1 : 50



**ON SITE VERANDAH
CONNECTION PLATE**

SCALE 1:10



**TRUSS TOP CHORD TO ROOF
BATTEN FIXING DETAIL**

SCALE 1:10

PROT 1/14/17 Pty Ltd. A.C.N. 150 179 913 A.B.N. 66 150 179 912 TRADING AS



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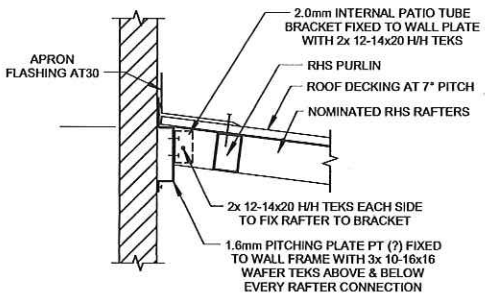
PROPOSED ORD FOR:

STEVEN & JANELLE ROWE

LOT14 (#33808) MINGENEW-MULLEWA RD
WONGOONDI

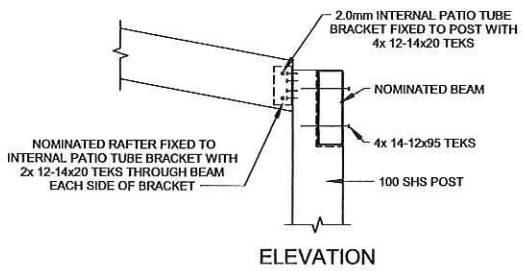
Date	Rev	Description
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date	18/04/16
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checked	JD
sheet no.	3 of 10
rev.	B

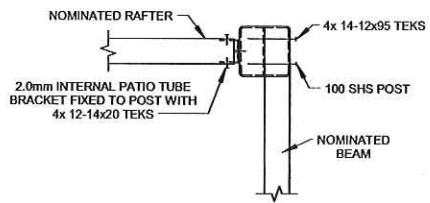


ONSITE PORCH CONNECTION PLATE

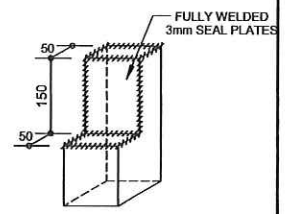
SCALE 1:10



ELEVATION

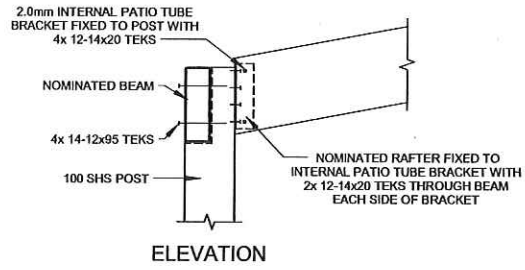


PLAN VIEW



POST CAPPING DETAIL

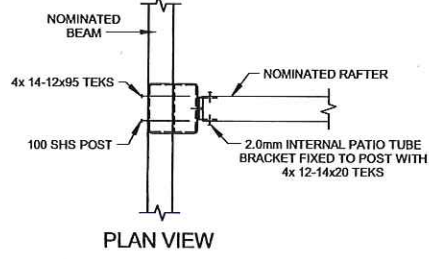
TYPICAL BEAM & RAFTER TO POST FIXING DETAIL (CORNER DETAIL)



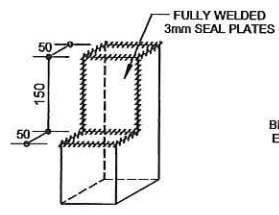
ELEVATION

PLEASE NOTE:

1. IF "CONTINUOUS PURLINS" NOMINATED RAFTER DROPPED TO ALLOW BEAM TO REMAIN AS BOTTOM PURLIN
2. IF AS PER '1' BUT NOMINATED RAFTER SAME SIZE AS BEAM, THEN NO INTERMEDIATE RAFTERS, POST MUST BE CONFIGURED



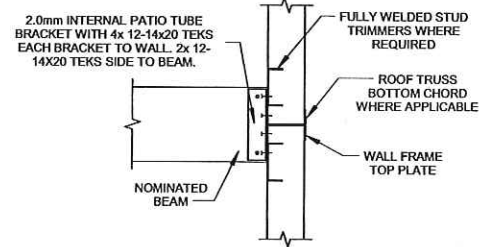
PLAN VIEW



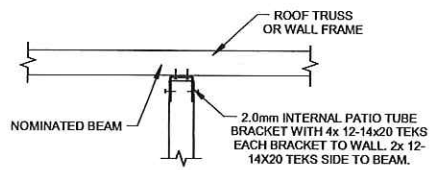
POST CAPPING DETAIL

TYPICAL BEAM & RAFTER TO POST FIXING DETAIL

SCALE 1:10



SECTION THROUGH



PLAN VIEW

TYPICAL BEAM TO WALL FIXING DETAIL

SCALE 1:10

PROVIT WAY Pty Ltd. AC/N. 063 739 512 ABN. 66 063 739 512 TRADING AS

mcgrath homes

31 challenge boulevard, wangara, wa 6065
 po box 1229, wangara, wa 6947
 telephone: (08) 9302 1131 fax: (08) 9302 1132 country toll free: 1800 62 1131
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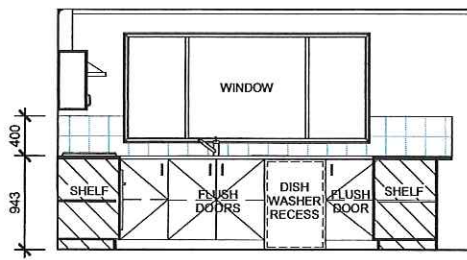
PROPOSED Designer FOR:

STEVEN & JANELLE ROWE

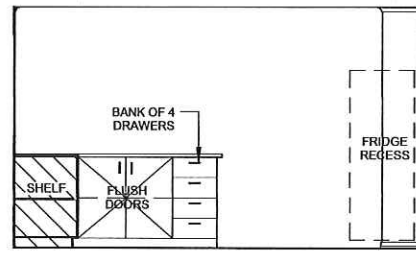
LOT14 (#3808)
 MINGENEW-MULLEWA RD
 WONGOONDI

Date	Rev	Description
04/05/2016	B	SET OF ARCHITECTURAL DRAWINGS

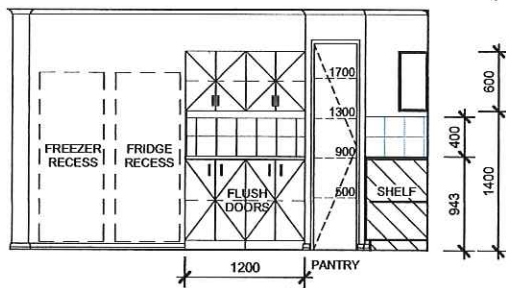
job no.	161010
date	18/04/16
drawn	BR
checked	JD
sheet no.	4 of 10
rev.	B



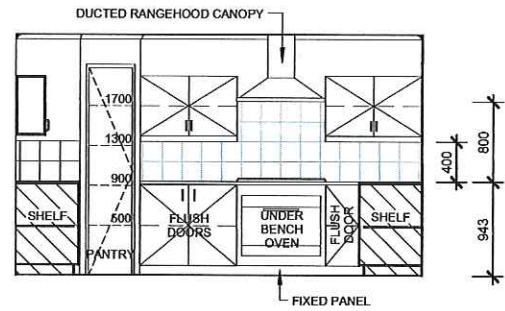
VIEW 1



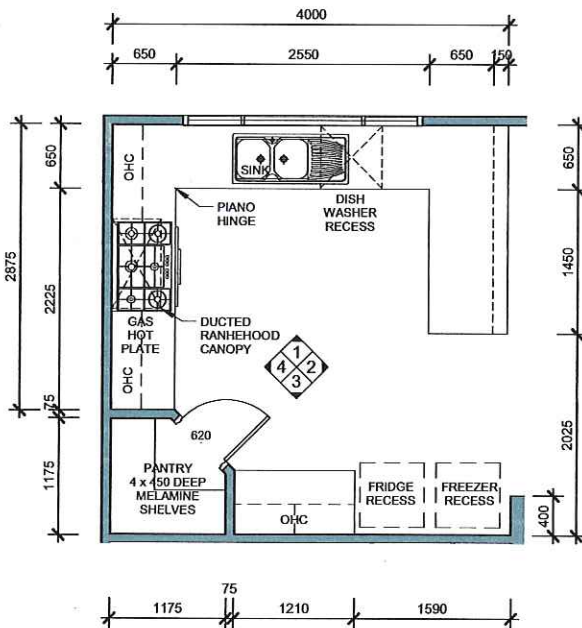
VIEW 2



VIEW 3

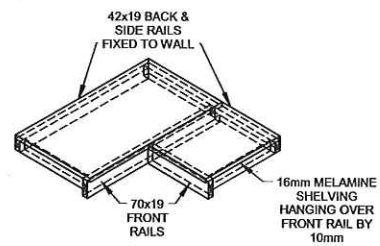


VIEW 4



KITCHEN LAYOUT

SCALE 1 : 50



CORNER PANTRY
SHELVING DETAIL
SCALE 1 : 20

PIVOT WAY Pty (LI) ACN 053 739 512 A.B.N. 66 053 739 512 TRADING AS

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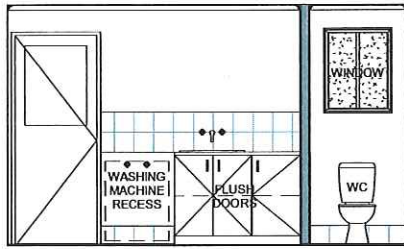
PROPOSED ORD FOR:

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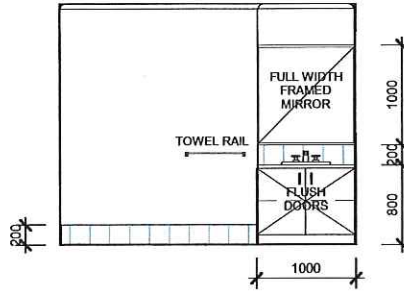
LOT14 (#3808)
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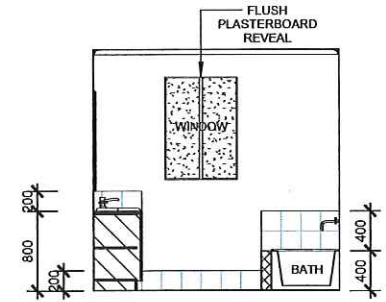
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date	18/04/16
drawn	BR
checked	JD
sheet no.	5 of 10
rev.	B



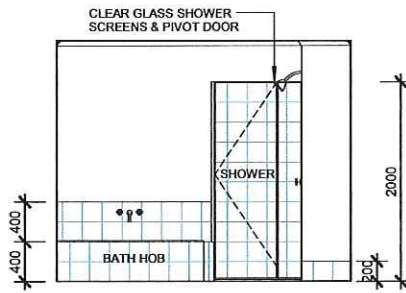
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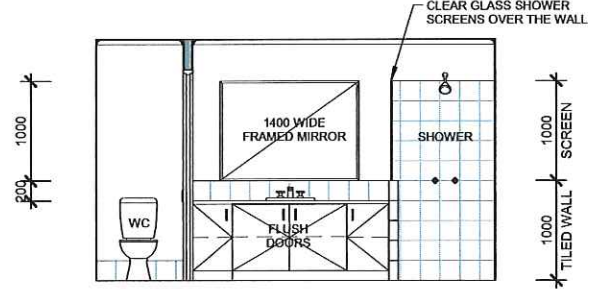
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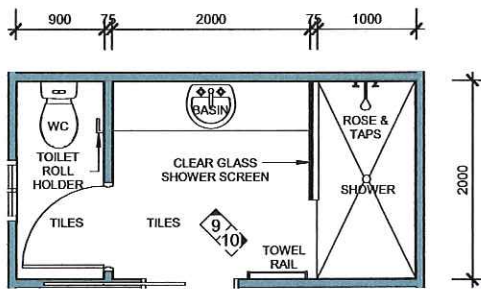
VIEW 7



VIEW 8



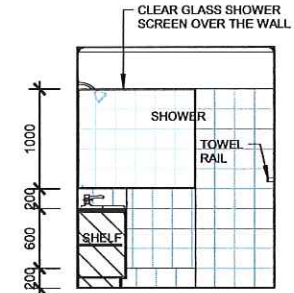
VIEW 9



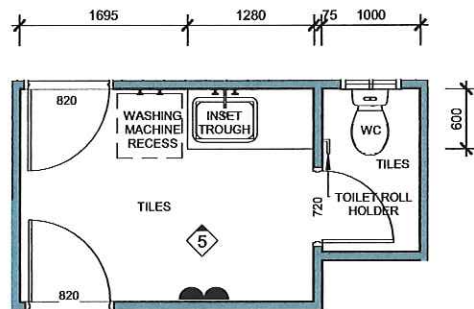
ENSUITE LAYOUT

SCALE 1 : 50

ALL TOWEL RAILS INSTALLED AT 1200 AFL APPROX.
ALL TOILET ROLL HOLDERS INSTALLED AT 750 AFL.

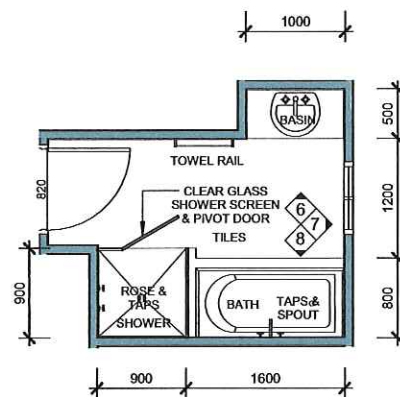


VIEW 10



LAUNDRY LAYOUT

SCALE 1 : 50



BATHROOM LAYOUT

SCALE 1 : 50

PIVOT WAY Pty Ltd. A.C.N. 053 739 512 A.B.N. 66 053 739 512 TRADING AS

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31 challenge boulevard, wangara, wa 6065
po box 1229, wangara, wa 6947
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STEVEN & JANELLE ROWE

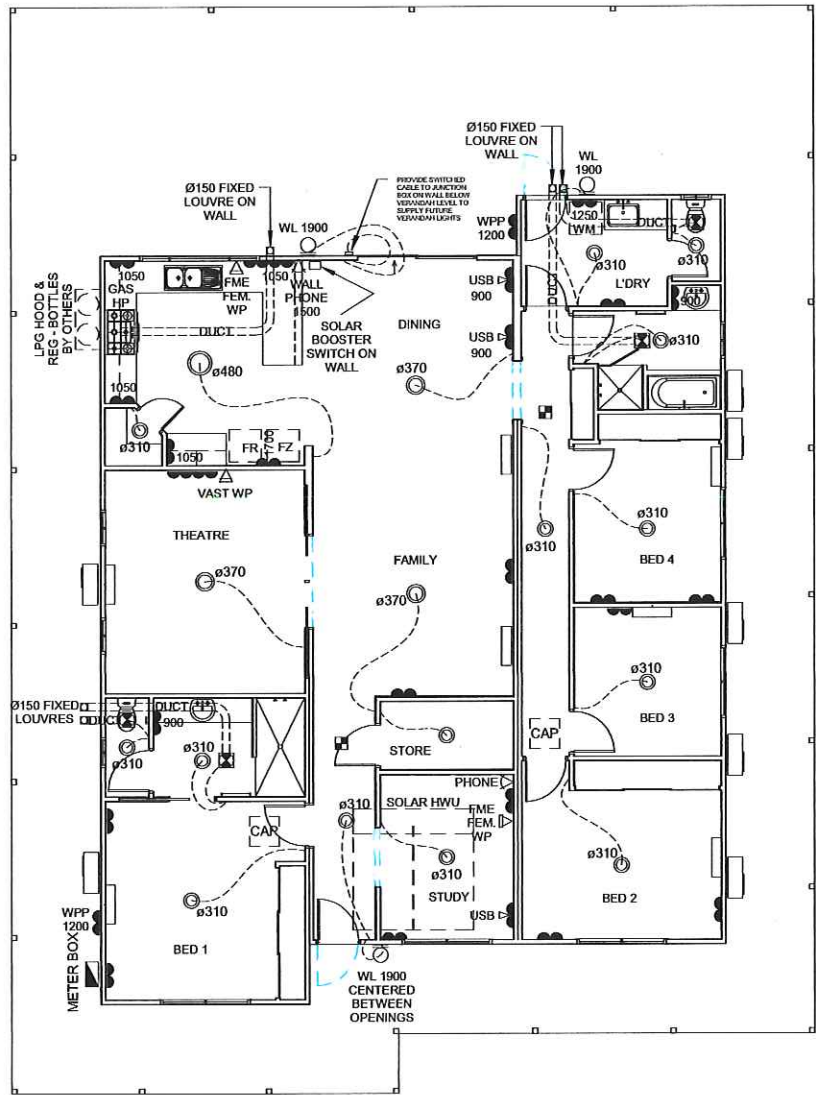
LOT14 (#3808)
MINGENEW-MULLEWA RD
WONGOONDY

Date	Rev	Description
04/05/2016	B	SET OF ARCHITECTURAL DRAWINGS

job no.	161010
date	18/04/16
drawn	BR
checked	JD
sheet no.	rev.
6 of 10	B

ELECTRICAL LEGEND

- WL BUNKER FITTING WALL LIGHT POINT
- CEILING LIGHT BAYONET POINT
- ⊙ LV LOW VOLTAGE RECESSED DOWN LIGHT POINT
- OYSTER FLURO FITTING - SIZE NOTED
- 36W SINGLE TUBE FLURO (OPTIONAL)
- 36W DOUBLE TUBE FLURO (OPTIONAL)
- ⬢ TWIN PARA FLOOD LIGHT WITH MOTION SENSOR
- ⊖ MOTION SENSOR
- 2.W.S. 2 WAY SWITCH
- F LIGHT FITTING (SUPPLIED BY OWNER)
- ▲ SINGLE POWER POINT AT 300 AFL U.N.O.
- ▲▲ DOUBLE POWER POINT AT 300 AFL U.N.O.
- ▲▲▲ QUADRUPLE POWER POINT AT 300 AFL U.N.O.
- ISO SWITCH
- JUNCTION BOX
- SELF-CLOSING CEILING EXHAUST FAN VENTED AS PER PLAN
- SELF-CLOSING CEILING FAN / LIGHT UNIT VENTED AS PER PLAN
- ⊞ CEILING FAN / LIGHT / HEAT UNIT WITH SELF-CLOSER VENTED AS PER PLAN
- SMOKE DETECTOR HARD WIRED WITH 9V BATTERY BACK UP
- ◀TV TELEVISION COAX POINT AT 300 AFL U.N.O.
- ◀FT FOXTEL IQ POINT AT 300 AFL U.N.O.
- ◀PH TELEPHONE POINT AT 300 AFL U.N.O.
- ⊙ SWEEP FAN
- ⊙ SWEEP FAN / LIGHT
- SPLIT SYSTEM A/C EXTERNAL UNIT
- SPLIT SYSTEM A/C INTERNAL UNIT



NOTE: POWER TO DISHWASHER RECESS, ELECTRIC OVEN, GAS HOT PLATE & DUCTED RANGEHOOD

ISOLATING SWITCH TO ELECTRIC OVEN

NOTE: POWER TO SOLAR HWS

RCBO SAFETY CIRCUIT BREAKERS TO EVERY CIRCUIT

ELECTRICAL PLAN

SCALE 1 : 100

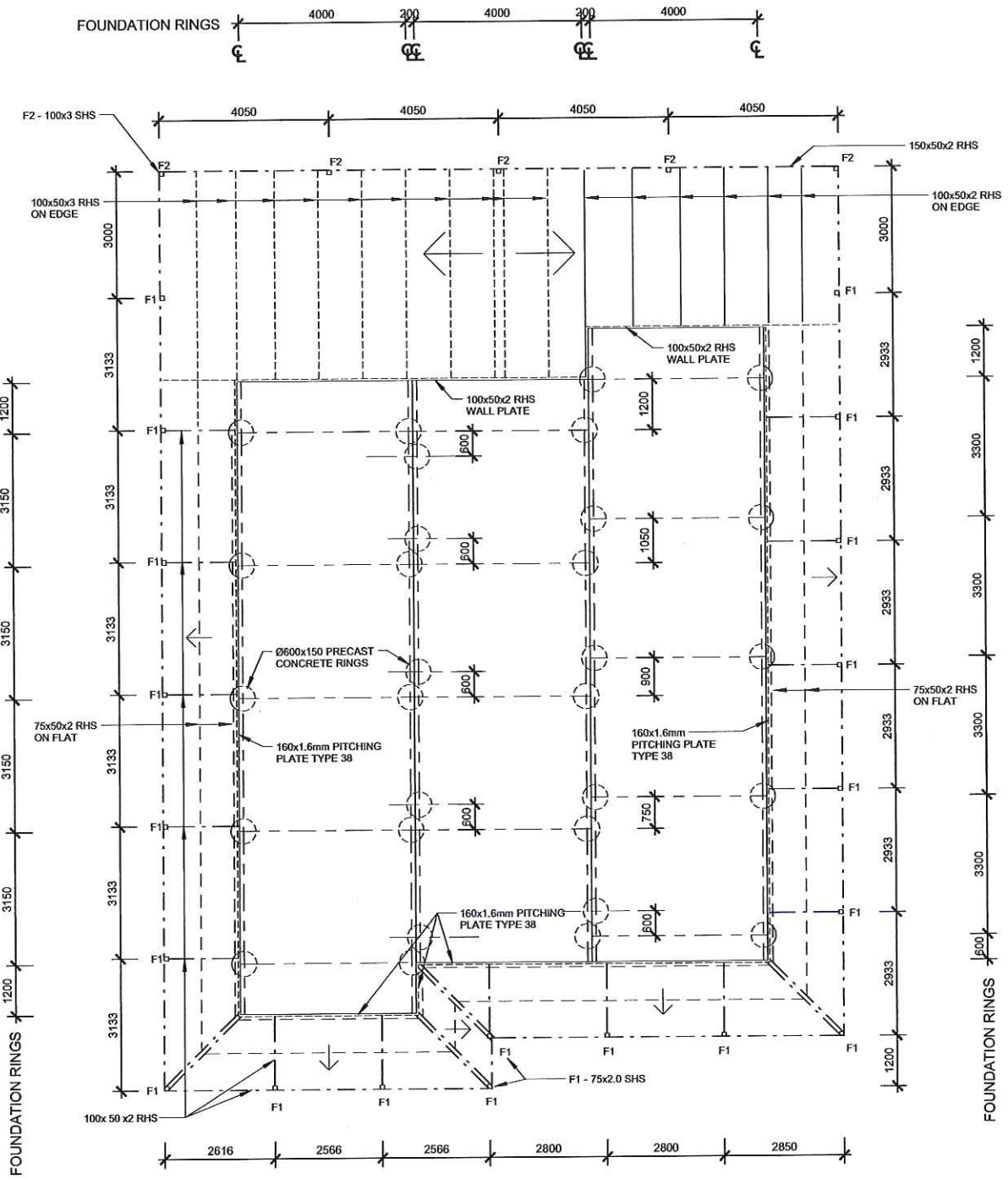
PROV BY WAV Pty Ltd. A.C.N. 653 739 512 A.B.N. 66 053 739 512 TRADING AS

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PROPOSED ORD FOR:
STEVEN & JANELLE ROWE
 LOT14 (#3808)
 MINGENEW-MULLEWA RD
 WONGOONDY

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sheet no.	rev.
7 of 10	B



STEEL & SLAB LAYOUT

SCALE 1 : 100

DRAINAGE NEEDS TO BE RUN AWAY FROM BUILDING & WHERE PATHS ARE PROVIDED TO EDGE. PATHS TO FALL OUTWARDS WITH A MINIMUM OF 25MM

N20/20/80 CONCRETE TO ALL FOOTINGS (TYPICAL)

FOUNDATIONS SUITABLE FOR SOILS UP TO CLASS 'S' TO AS2870.

PRIVATE WAY Pty Ltd. A.C.N. 053 729 512 A.B.N. 06 053 729 512 TRADING AS

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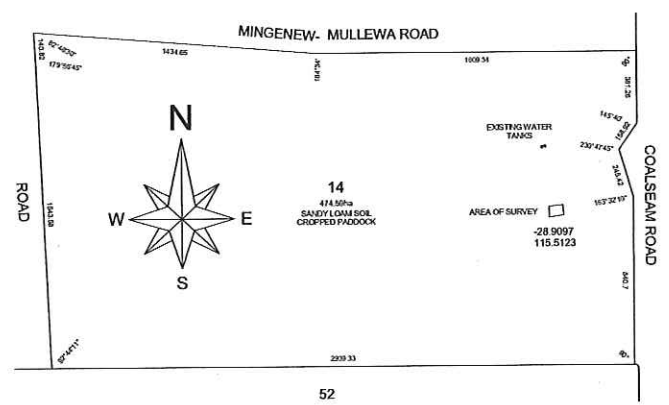
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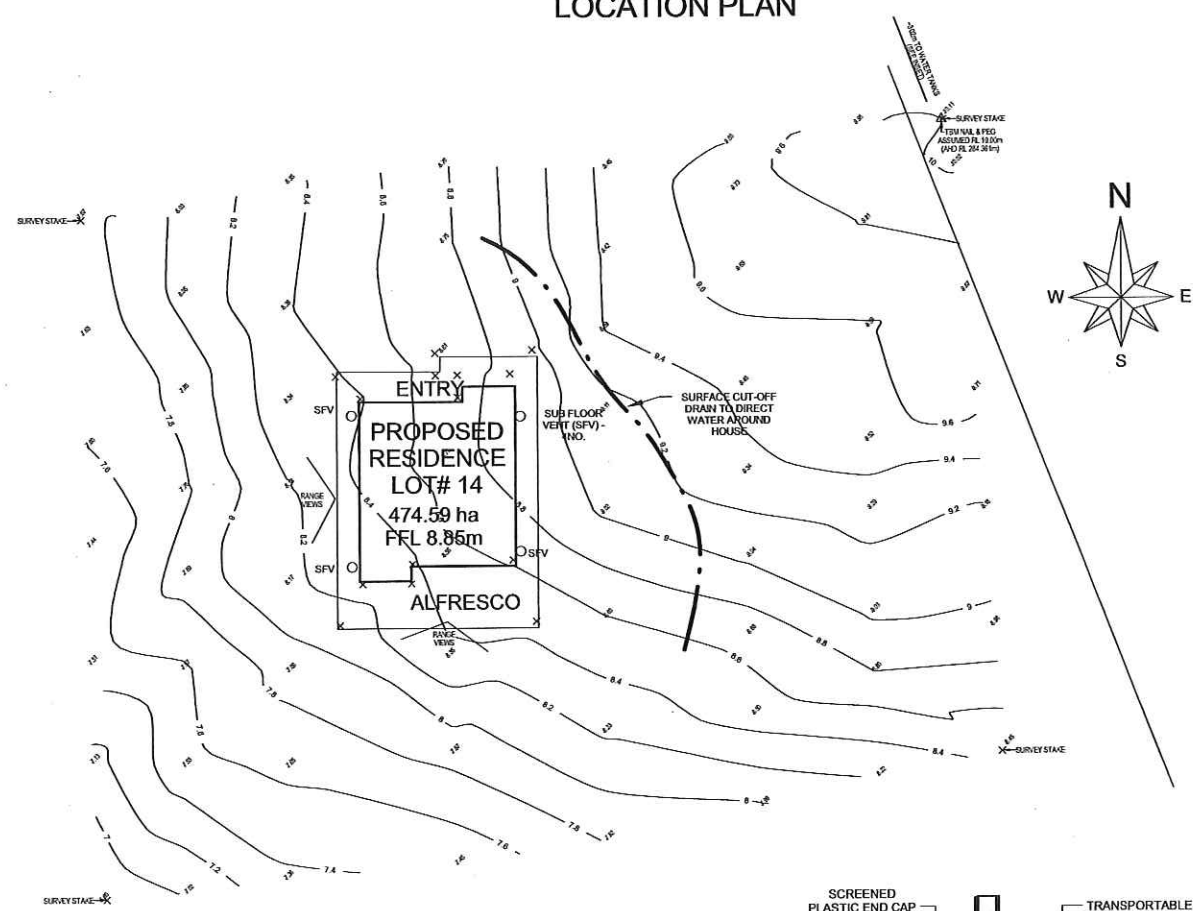
job no.	161010
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rev.	B

McGRATH HOMES STRONGLY RECOMMEND A 500mm MINIMUM CONCRETE APRON TO THE FULL EXTERIOR OF THE HOUSE TO ASSIST WITH WATER RUN-OFF.

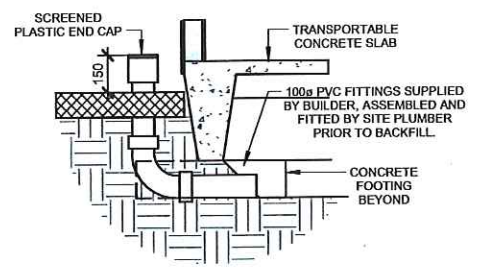
THE OWNER NEEDS TO ENSURE ALL RUN OFF WATER DRAINAGE IS DIVERTED AWAY FROM THE HOUSE FOUNDATIONS.



LOCATION PLAN



SITE PLAN
SCALE 1 : 400



SUB FLOOR VENT DETAIL

PRIVATE WAY Pty Ltd. A.C.N. 053 739 512 A.B.N. 66 053 739 512 TRADING AS
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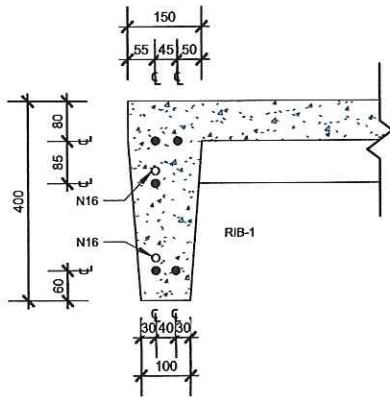
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 MINGENEW-MULLEWA RD
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SLAB DEPTH:
 SLAB DEPTH TO BE >45mm (NOMINALLY 55mm) EXCEPT WHERE PURCHASERS SPECIFICALLY REQUESTED OTHERWISE. WHERE FLOORS HAVE REDUCED THICKNESS THE PUNCHING SHEAR CRITERIA AVAILABLE IS 4kN NOT 6.7kN.

TRANSPORTATION OF SLAB, LIFT POINTS & PROCEDURE:
 WHEN MOVING ALWAYS KEEP THE FLOOR LEVEL ACROSS THE SLAB TO AVOID A TWISTING ACTION WHICH CAN CAUSE SEVERE TORSION SHEAR CRACKS. THE SLAB TO LONGITUDINAL BEAM JUNCTION CAN SPLIT IF TWISTING IS SIGNIFICANT. IF NOMINAL LIFT POINTS NOT GIVEN USE 12.5% TO 15% OF THE SLAB LENGTH FROM SLAB END (2.0 FOR 14.4m SLAB). MAIN BEAMS SHOULD BE FULLY SUPPORTED DURING TRANSPORTATION.



SLAB RIB EDGE BEAM

RIB LEGEND

R1	5 x 12.5 ϕ STRANDS
R2	2 x 12.5 ϕ STRANDS
R3	R10 & N16 BARS
R4	R10 & N16 BARS

RIBS R3 & R4 TO HAVE R6 LIGS AT 320 CENTRES

SLAB DIMENSIONS: 2 x 15000x4200
 1 x 13800x4200

RIB 3 AT 1200CENTRES NOM.
 RIB 4 AT CENTRE OF SLAB

NOTES:

ALL CONCRETE SHALL BE IN ACCORDANCE WITH AS 3600

USE GRADE S40 CONCRETE, TYPE GP CEMENT, 14mm AGGREGATE.

USE RIGID FORMWORK AND APPROVED COMPACTION METHODS.

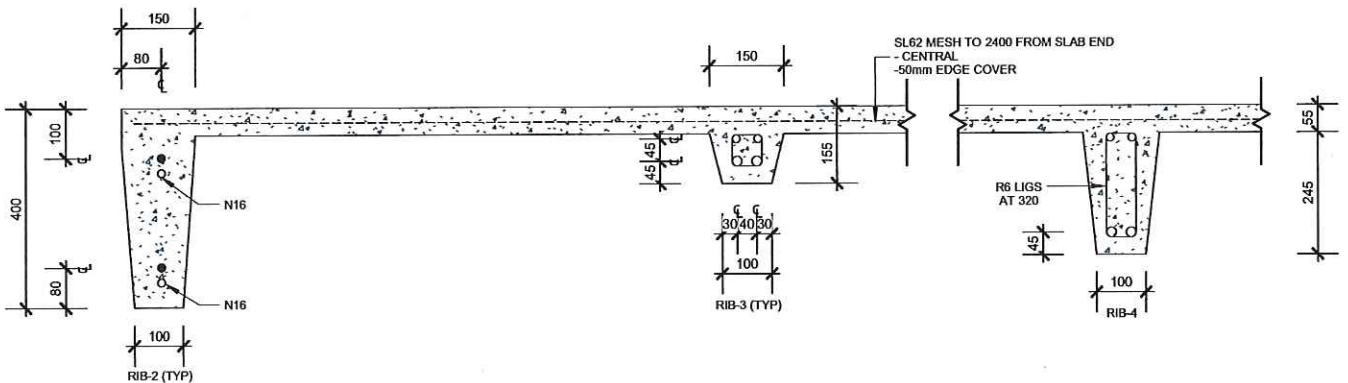
ENSURE THAT JACKING IS CARRIED OUT UNIFORMLY AT JACKING POINTS.

FINAL SUPPORTS UNDER MAIN BEAMS SHALL BE LOCATED NOT MORE THAN 1200mm FROM ENDS & NOT MORE THAN 3500mm APART U.O.N.

LOAD RATING

3.0kPa LIVE LOAD
 STD. FLOOR LOADING

CERTIFIED BY:



SLAB RIB SECTION
 DETAIL
 SCALE 1 : 10

PRIVATE AND PROPRIETARY. A.C.N. 653 730 512 A.B.U.L. 66 053 739 512 TRADING AS

mcgrath
 homes

31 challenge boulevard, wangara, wa 6065
 po box 1229, wangara, wa 6947
 telephone: (08) 9302 1131 fax: (08) 9302 1132 country toll free: 1800 62 1131
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PROPOSED ORD FOR:
 STEVEN & JANELLE ROWE

LOT14 (#3808)
 MINGENEW-MULLEWA RD
 WONGOONDY

Date	Rev	Description
04/05/2016	B	SET OF ARCHITECTURAL DRAWINGS

job no.	161010
date	18/04/16
drawn	R.R.
checked	P.S.
sheet no.	rev.
10 of 10	B