



City of
Greater Geraldton
a vibrant future



**PEDESTRIAN ACCESS WAY CLOSURE REPORT
O'CONNOR STREET, BLUFF POINT
NOVEMBER 2020**

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1.0 INTRODUCTION

The City of Greater Geraldton requests the closure of a Pedestrian Access Way (PAW) located between Lot 17 (No. 6) and Lot 18 (No. 8) O'Connor Street which is notated as 'pedestrian accessway' on Plan 9377 in Bluff Point. This report is designed to fulfil the requirements of the Western Australian Planning Commission (WAPC) 'Procedure for the Closure of Pedestrian Accessways' Planning Guidelines.

The PAW is enclosed on both sides by standard 1.8m high boundary fencing and has been enclosed to the rear by fencing as well. This means that it is currently non-functional. The PAW closure is intended to legitimise the existing 'on ground' situation whereby the PAW appears to now form part of Lot 17 (No. 6) O'Connor Street.

This report includes a description of the following matters, outlined in Appendix 1 of the Guidelines, as appropriate for the closure of a PAW without an adopted pedestrian and cycle access plan:

- Location and description of the subject site;
- Connectivity assessment;
- Identification of infrastructure providers;
- Detailed assessment of the PAW; and
- Justification of the closure of the PAW.

2.0 DESCRIPTION OF SITE

2.1 Regional Location

The subject site is located within the City of Greater Geraldton in the locality of Bluff Point, approximately 4 kilometres north of the Geraldton Central Area.

2.2 Local Location

The subject PAW is located between Lot 17 (No. 6) and Lot 18 (No. 8) O'Connor Street, Bluff Point. It is located mid way along O'Connor Street and connects to a Public Recreation reserve to the south, being Reserve 31293. The Public Recreation reserve area currently has no facilities or active recreational spaces. It consists of a grassed area with some established trees.

2.3 Cadastral Information

The subject site comprises one parcel, being Lot 155 on Plan 9377. It was vested in the Crown on 24 June 1969 as a Pedestrian Access Way under Section 20A of the (former) Town Planning and Development Act 1928.

The PAW proposed for closure has an approximate area of 77m².

2.4 Existing Improvements

The subject PAW is vacant and not formally constructed. On the ground it does not have the appearance of a PAW given that it has informally been integrated with abutting Lot 17 (No. 6) O'Connor Street and as such has been fenced off at the rear where it adjoins the Public Recreation reserve.

2.5 Proposed Closure

The PAW is proposed to be closed to legitimise the existing 'on ground' situation whereby the PAW has informally been integrated with abutting Lot 17 (No. 6) O'Connor Street.

Appendix 1 Shows Plan 9377 and the PAW.

3.0 CONNECTIVITY ASSESSMENT

The Bluff Point locality is an older suburb and as such is characterised by a 'grid' street layout. PAW's generally do not exist in the area. The subject PAW is the exception with it being created as part of a later subdivision in the area to provide a link from O'Connor Street to the Public Recreation reserve at the rear of lots fronting O'Connor Street. The Public Recreation reserve is located at the end of a cul-de-sac.

The major community facilities in the area include the Spalding Tennis Club and Chapman River Regional Park which is located approximately 340 metres north east of the subject PAW, the Bluff Point Foreshore approximately 400 metres to the west of the subject PAW and another Public Recreation reserve located approximately 450 metres south of the subject PAW.

The North West Coastal Highway is located approximately 320 metres to the east of the subject PAW. The PAW does not provide formal access to the highway.

There is existing public transport in the area, with bus stops located along Chapman Road. The bus connects Bluff Point to central Geraldton.

It is noted that the proposed closure of the PAW will reduce connectivity to the Public Recreation reserve in Hemsley Place for some residents in the immediate area (i.e. to the north of O'Connor Street). However as the PAW has been fenced off at the rear (where it abuts the Public Recreation reserve) and informally integrated with abutting Lot 17 (No.6) O'Connor Street it has not been utilised for many years and as such currently does not provide any connectivity.

The Public Recreation reserve can still be accessed by local residents via the surrounding street system. There are no footpaths provided along Charles Street or Harrison Street however there are footpaths along Chapman Road and Hosken Street. Good surveillance is available using the street system as it is in the public domain, with wide and open streetscapes. Street lighting is also available in the street

system. As there has been no access to the PAW for a number of years it is presumed that use of alternative routes already exists.

Although the proposed closure of the PAW will reduce connectivity to the Public Recreation reserve in Hemsley Place it is noted that there are other public recreation areas (i.e. Chapman River Regional Park to the north, Bluff Point foreshore area to the west and a public open space area south of the Spalding Tennis club) in close proximity.

Appendix 2 shows the location of the PAW in context of the surrounding area including other public open space areas and existing commercial area.

4.0 IDENTIFICATION OF INFRASTRUCTURE PROVIDERS

A preliminary servicing investigation has been undertaken by the City and it appears that there is no infrastructure located within the PAW. This servicing infrastructure includes existing water, electricity, gas, drainage and City infrastructure in proximity to the subject PAW. A more thorough analysis of infrastructure will be undertaken which includes liaison with various infrastructure providers to ascertain if any is impacted upon by the proposed closure.

5.0 DETAILED ASSESSMENT OF THE PAW

5.1 Location and Design Characteristics

The PAW is located between Lot 17 (No. 6) and Lot 18 (No. 8) O'Connor Street, Bluff Point. It is north – south in direction and is approximately 38.22 metres in length and 2 metres in width. The total area of the PAW is approximately 77m².

The location and design of the PAW is not considered to be consistent with the WAPC's Development Control Policy 2.6 – Residential Road Planning ('DCP2.6'), which states in Section 3.6.9:

'The design of new subdivision should, therefore, avoid narrow pedestrian access ways between property boundaries. Alternative design solutions should be sought using the local road network and public open space linkages to provide direct, pedestrian friendly connections between residential areas and public facilities such as shops, schools and bus routes.'

'Where pedestrian links between property boundaries are unavoidable, the design of the pedestrian access way should limit the opportunities for anti-social behaviour. For this reason, the width of the pedestrian access way should not be less than eight metres and the design should be straight and open to view from other residences, street, or public open space.'

The existing PAW is narrow, 2 metres wide, and long. The existing street network is therefore a more favourable alternative for pedestrian access. It affords better surveillance opportunities and will not encourage crime and antisocial behaviour that is generally associated with these types of PAW's. For this reason the closure of the PAW is considered appropriate.

5.2 Level of Passive Surveillance

There is presently a low level of passive surveillance of the PAW by adjoining properties, public open space and from the street. The PAW abuts two single houses on both sides which are fenced with 1.8 metre high fencing. Neither offer passive surveillance of the PAW. There are no existing dwellings overlooking the PAW.

The southern entry point to the PAW adjoins a Public Recreation reserve which at present consists of vegetated areas with no facilities or active recreational spaces. There is poor passive surveillance from surrounding houses to the Public Recreation reserve due to tall back fences. This poor surveillance of the Public Recreation reserve along with the poor surveillance of the PAW may exacerbate anti-social behaviour in the area and this combined with the length of the PAW would make the use of it quite daunting. For these reasons the closure of the PAW is considered appropriate.

5.3 Condition

The PAW is vacant and not formally constructed. On the ground it does not have the appearance of a PAW given that it has informally been integrated with abutting Lot 17 (No. 6) O'Connor Street and as such has been fenced off at the rear where it adjoins the Public Recreation reserve. Given this the PAW is not currently utilised.

5.4 Connectivity

As the PAW has been fenced off at the rear (where it abuts the Public Recreation reserve) and informally integrated with abutting Lot 17 (No.6) O'Connor Street it has not been utilised for many years. Given this it currently does not provide any connectivity.

It is also noted that the PAW does not connect to any existing cycle/pedestrian network in the immediate area. The affect of the closure of the PAW on the access to other community facilities in the surrounding area would be negligible.

6.0 JUSTIFICATION FOR THE CLOSURE OF THE PAW

Based on the above, the PAW is considered to be non-essential using the criteria outlined in the Guidelines, as it can be closed without causing significant inconvenience to local residents.

It is not considered to be a necessary pedestrian option for the following reasons:

- The PAW has low levels of passive surveillance potentially contributing to antisocial behaviour affecting nearby residents. This is inconsistent with current planning practice in terms of designing out crime;
- The PAW is extremely narrow, located between dwellings and is enclosed by non-visually permeable perimeter fencing. This is inconsistent with current planning practice in terms of designing out crime;
- The PAW has never been formally constructed, is not landscaped and no lighting is provided; and
- The PAW has been blocked off on the southern end and is therefore not currently used for its intended purpose.

There is no formal pedestrian transport network that the PAW connects to, the nearest north-south pedestrian linkages being Crowtherton Street to the north and Hosken Street to the south and the nearest east-west pedestrian linkages being Chapman Road to the east and Kempton Street to the west.

The PAW has been informally integrated with abutting Lot 17 (No.6) O'Connor Street and as such it is not utilised and does not function as a PAW.

Given the reasons above it is believed that the closure of the PAW is justified.

7.0 CONCLUSION

This report has been designed to fulfil the requirements of the WAPC 'Procedure for the Closure of Pedestrian Access Ways' Planning Guidelines and has addressed steps 3 - 9 in Appendix 1 of these. It is recommended that the request for the closure of the PAW which is notated as 'pedestrian accessway' on Plan 9377 in Bluff Point be supported.

LEGEND

-  400m Radius
-  Pedestrian Accessway

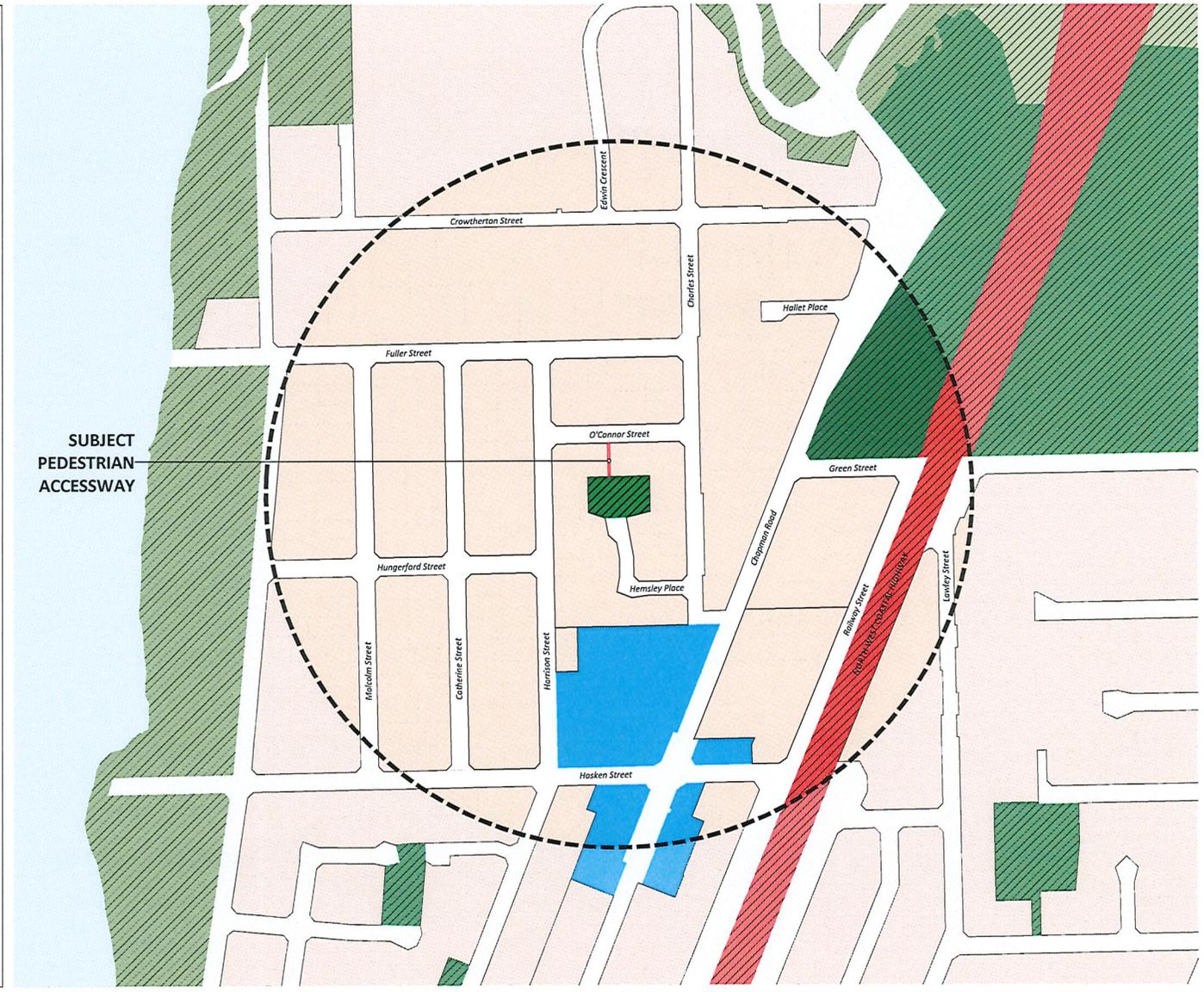
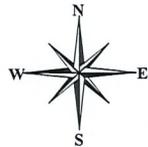
Local Scheme Reserves

-  Primary Distributor Road
-  Public Open Space

Zones

-  Commercial
-  Residential

**SUBJECT
PEDESTRIAN
ACCESSWAY**



Map produced by the City of Greater Geraldton
 W: www.cgg.wa.gov.au E: council@cgg.wa.gov.au

APPENDIX 2: Context Plan

Scale: 1:5,000

Date	10-Nov-20
Department	IS [Engineering - GIS]
Drawing No.	APPENDIX 2
Operator	RJT
Paper Size	A3

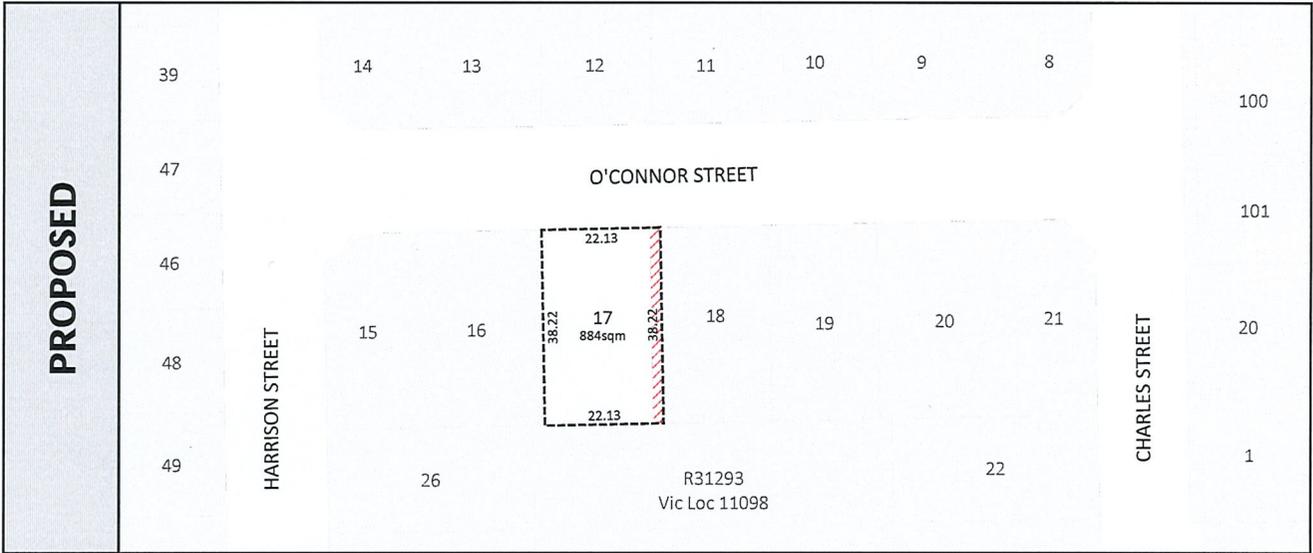
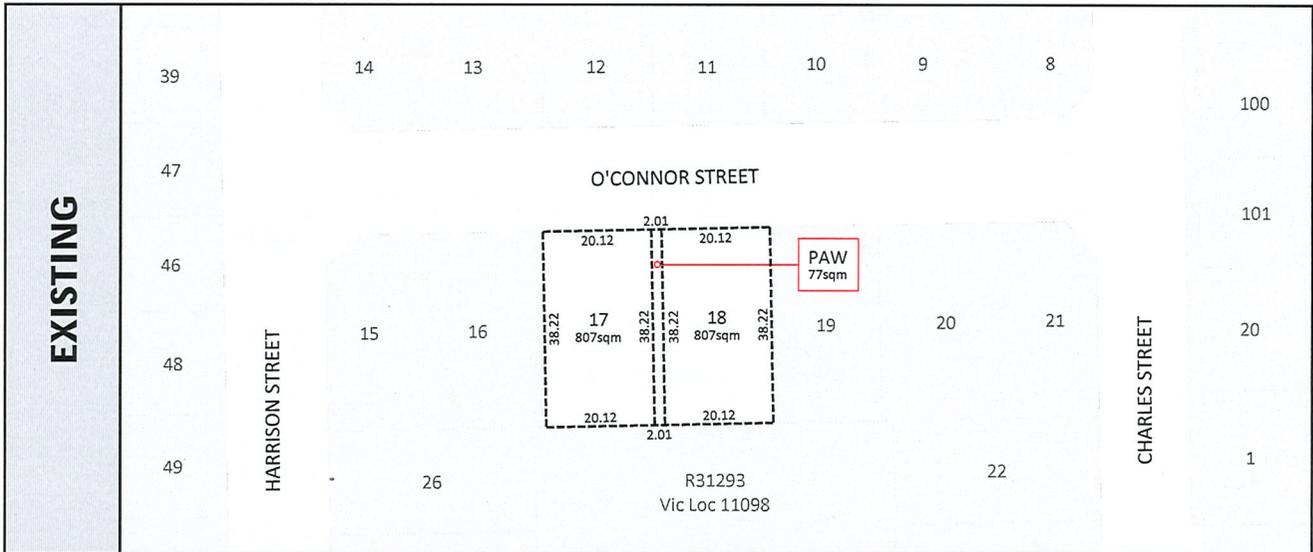
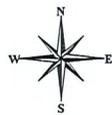
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PROPOSED CLOSURE OF PEDESTRIAN ACCESSWAY (PAW)

Proposed Closure of Pedestrian Accessway (PAW) between Lot 17 (No. 6) and Lot 18 (No. 8) O'Connor Street, Bluff Point

Lot 17 (No. 6) O'Connor Street

- Existing Area of Lot 17 = 807 sqm
- Acquisition of the whole PAW = 77 sqm
- Proposed New Area of Lot 17 = 884 sqm



AMENDMENTS	No.	DATE	DESCRIPTION	BY	APPR.
	1	NOV-20	DRAW ACQUISITION/CLOSURE	RT	NB

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PO Box 101 Geraldton WA 6531
Geraldton Civic Centre T 08 9956 0000 F 08 9956 6674
Mullewa District Office T 08 9956 6643 F 08 9961 1206
E council@cgg.wa.gov.au W www.cgg.wa.gov.au

DESIGNED: DATE: NOV-20
DRAWN: RJ THORP DATE: NOV-20
CHECKED: DATE:
APPROVED BY: DATE:

DEPARTMENT
INFRASTRUCTURE SERVICES

PROJECT TITLE: **PEDESTRIAN ACCESSWAY Proposed Closure and Acquisition**

DRAWING TITLE: Lot 17 (No. 6) O'Connor Street, Bluff Point

FILE LOC: TRIM Reference: D-20-135423

DRAWING No: **MISC269**

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