

- NOTES:**
1. Dimensions and areas are subject to lot pre-calculation and survey.
 2. All service information as provided by relevant agencies and indicative only.
 3. The plan is prepared for the purposes of obtaining Development Approval with the City of Greater Geraldton and should not be used for any other purpose. No liability will be accepted where the plan is used for purposes other than that indicated.
 4. This plan is prepared using information provided by Landgate. The data extracted from Geospatial Databases is intended for informational purposes only.
 5. Survey information provided by Quantum Surveys Ref-9050.
 6. Dwelling location derived from aerial photography and approved plan set as provided by client.
 7. Subject site falls within Geraldton Airport Special Control Area and Aircraft Noise Exposure Forecast (ANEF) contours (refer legend).
 8. Shire of Greenough Building Approvals #89/230 (Dwelling and Workshop).
 9. Crossover design subject to consultation with Main Roads WA and local authority including but not limited to:
 - Crossover Material
 - Sight lines / visibility
 - Drainage culverts
 - Guide posts / delineators
 - Signage position
 10. Refer Figure 2 for Office Plan and Elevations.
 11. Refer Figure 3 for Ablution Plan and Elevations.
 12. Refer Figure 4 for Workshop Plan and Elevations.
 13. Refer Figure 5 for Signage details.

| CALCULATIONS | |
|---|------------------------------------|
| TOTAL AREA LOT 23 | 3.4175 ha |
| AREA SUBJECT TO APPLICATION | 2.0457 ha |
| CITY OF GREATER Geraldton LOCAL PLANNING SCHEME No. 1 ZONING | RURAL AND SCA3 (Geraldton Airport) |
| USE CLASS - TRANSPORT DEPOT | A* |
| *A - means that the use is not permitted unless the local government has exercised its discretion by granting development approval after giving notice in accordance with clause 64 of the deemed provisions. | |

| | | | |
|--|--|--|--|
| | SUBJECT LAND BOUNDARY | | EXISTING STRUCTURES (TO BE REMOVED) |
| | WATER MAIN | | EXISTING STORAGE CONTAINERS (NON-PERMANENT STRUCTURES) |
| | WATER HYDRANT | | EXISTING WORKSHOP (See Note 8) |
| | OVERHEAD POWER | | OFFICE (RELOCATE EXISTING) |
| | POWER POLE | | PROPOSED STORAGE CONTAINERS (NON-PERMANENT STRUCTURES) |
| | TELSTRA | | PROPOSED ABLUTION |
| | SPECIAL CONTROL AREA (BOUNDARY TO 20 ANEF CONTOUR) | | PROPOSED LANDSCAPING |
| | SPECIAL CONTROL AREA (20 ANEF TO 25 ANEF CONTOUR) | | EXISTING WORKSHOP |
| | EXCLUDED FROM APPLICATION AREA (PRIVATE USE) | | |
| | PROPOSED SECURITY FENCING | | |
| | ON-SITE MOVEMENT DIRECTION | | |
| | BUSINESS SIGNAGE (See Note 9) | | |

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PO BOX 1597 Geraldton WA 6531
Email : info@landwest.net.au
Phone : (08) 9965 0550

CLIENT: SB & LR DAVIS

TITLE: RETROSPECTIVE PLANNING APPLICATION
TRANSPORT DEPOT "DAVIS LOGISTIC SOLUTIONS"
SITE PLAN LOT 23 ON DIAGRAM 26888 (No 535)
GERALDTON-MOUNT MAGNET ROAD
MOONYOONOOKA

CERTIFICATE OF TITLE: 146 / 56A

DATE LAST MODIFIED: 19/02/2020

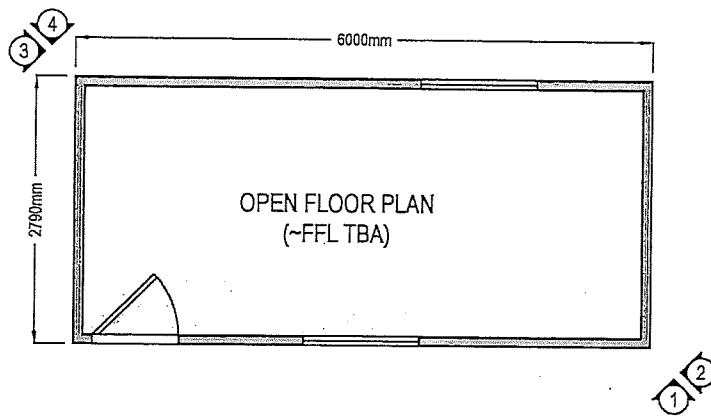
REV: DATE: DETAILS: BY: APPROVED: PLAN:

DESIGNED: GMB DRAWN: DSH

FIGURE 1

* This plan remains the property of Landwest and must not be used for any purpose other than which it was prepared for, in relation to the land duly described, Landwest accepts no responsibility for any losses or damages caused to any person/s who may use the information for a purpose for which it was not intended.

SCALE: 1 : 1000 @A3



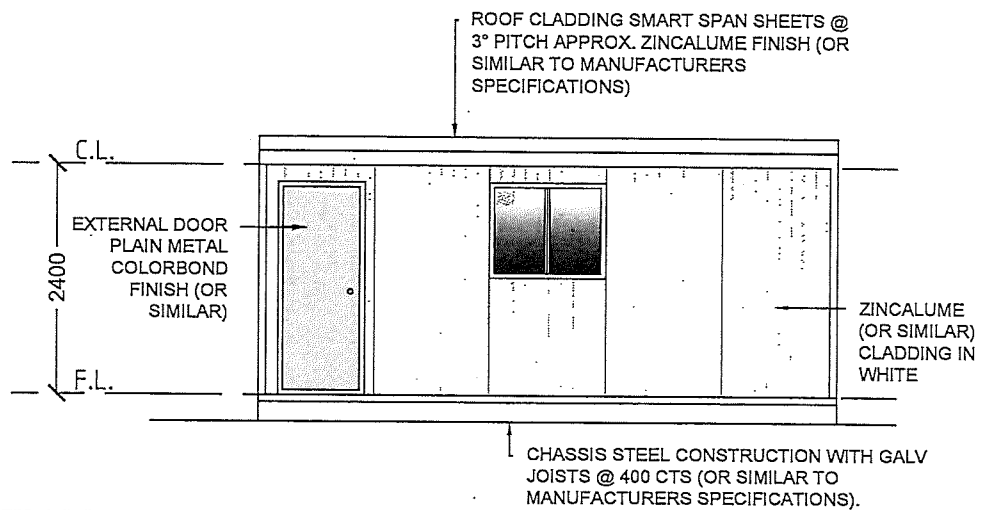
NOTE:
OFFICE EXISTING ON SITE.
EXISTING OFFICE TO BE
RELOCATED AS PER FIGURE 1.
OFFICE LAYOUT, DIMENSIONS
AND DESIGN INDICATIVE ONLY
AND SUBJECT TO DETAILED
SURVEY. BUILDINGS TO BE
MOUNTED AT GROUND LEVEL
WITH 1M WIDE CONCRETE
PATHS FOR ACCESSIBILITY. 1 IN
8 RAMP AT DOOR IF REQUIRED
IN ACCORDANCE WITH AS 1428.1

FLOORPLAN 1:75

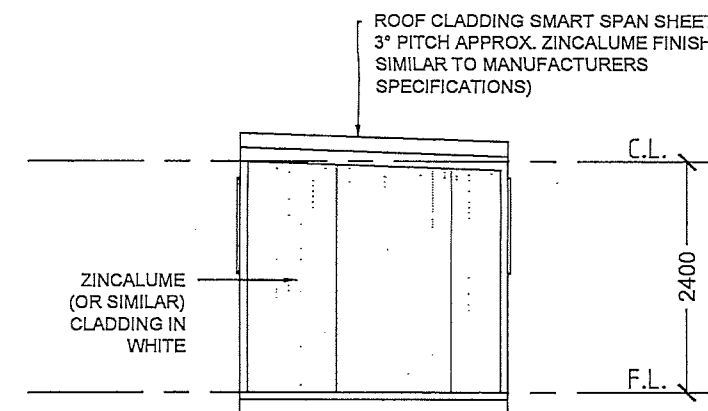
EXTERNAL WALLS ZINCALUME SHEET CLADDING
STEEL FRAME
AREA : 17m²

NOTES

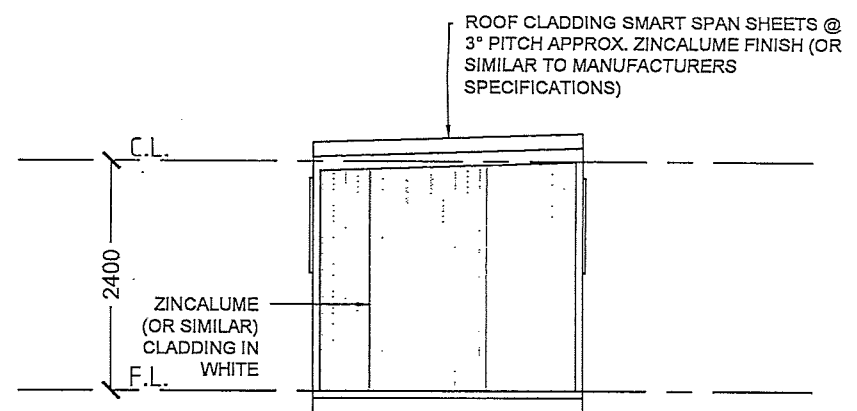
1. Final position of Office subject to change. General location indicated on plan (Figure 1).
2. Building internal configuration and openings indicative only and subject to change.
3. Building to be connected to on-site power supply as required by local authority.
4. FFL subject to building certification for site works, footings, and method of tie down for transportable units.
5. Offices to be tied to concrete piers. Tie down method subject to engineering certification at building permit stage.
6. External walls zincalume sheet cladding or similar and white in colour.



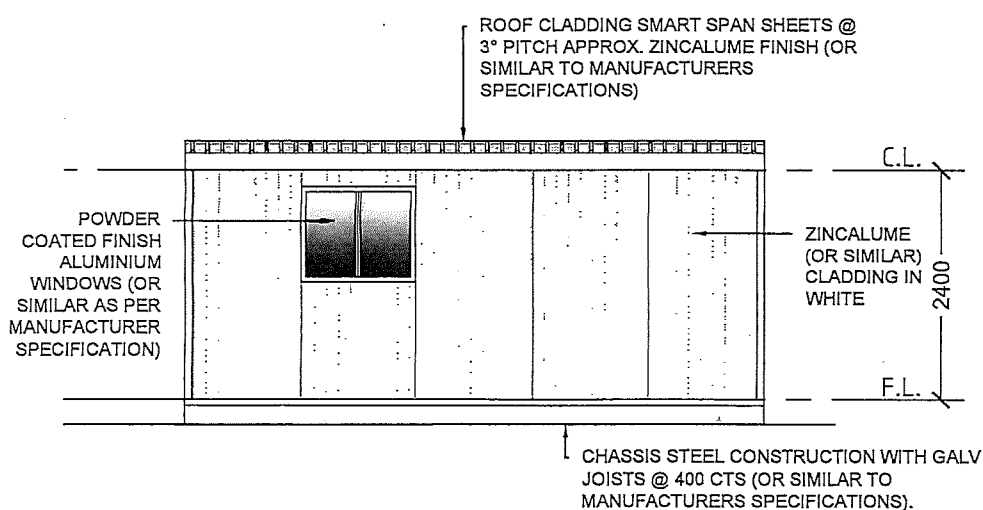
1 SOUTH ELEVATION 1:75



2 EAST ELEVATION 1:75



3 WEST ELEVATION 1:75



4 NORTH ELEVATION 1:75

STORMWATER CALCULATIONS

| | |
|---|--------------------------|
| PROPOSED STRUCTURE | |
| ROOF AREA | 17m ² |
| FOOTPATH | 8m ² |
| CONCRETE HARDSTAND ACCESSIBLE PARKING BAY AND SHARED ZONE | 27m ² |
| TOTAL AREA (17+8+27) | 52m² |
| VOLUME REQUIRED (52 X 0.9) / 60 = | 0.82m³ |

Drainage will be catered for with soak wells. All paved areas to fall toward landscaping. Soak wells to be located minimum 2.0m from all footings. Final location of roof plumbing and soak wells to be determined at detailed design and building phase.



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TRANSPORT DEPOT "DAVIS LOGISTIC SOLUTIONS"
OFFICE PLAN LOT 23 ON DIAGRAM 26888 (No 535)
GERALDTON-MOUNT MAGNET ROAD
MOONYOONOOKA

CERTIFICATE OF TITLE:
146 / 56A

DATE LAST MODIFIED:
19/02/2020

REV: DATE: DETAILS:
APPROVED:

BY: APPROVED:

PLAN:

FIGURE 3

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SCALE: 1 : 75 @A3

DESIGNED: GMB DRAWN: DSH

1. Final position of ablations subject to change. General location indicated on plan (Figure 1).
2. Building internal configuration and openings indicative only and subject to change.
3. Buildings to be connected to on-site water supply and on-site power supply and effluent disposal systems as required by local authority.
4. FFL subject to building certification for site works, footings, and method of tie down for transportable units.
5. Structure to be tied to concrete piers. Tie down method subject to engineering certification at building permit stage.
6. External walls zincalume sheet cladding or similar and white in colour.

| | |
|---------------------------|--------------------|
| PROPOSED STRUCTURE | |
| ROOF AREA | 9m ² |
| TOTAL AREA | 9m ² |
| VOLUME REQUIRED | |
| (9 X 0.9) / 60 = | 0.13m ³ |

DRAINAGE WILL BE CATERED FOR WITH SOAK WELLS.
ALL PAVED AREAS TO FALL TOWARD LANDSCAPING.
SOAK WELLS TO BE LOCATED MINIMUM 2.0M FROM ALL
FOOTINGS. FINAL LOCATION OF ROOF PLUMBING AND
SOAK WELLS TO BE DETERMINED AT DETAILED DESIGN
AND BUILDING PHASE.

EXCERPTS FROM NCC 2019 BCA VOLUME 1 SECTION F, PART F2

Suitable sanitary facilities for personal hygiene must be provided in a convenient location within or associated with a building, to the degree necessary, appropriate to—

- (a) the function or use of the building; and
- (b) the number and gender of the occupants; and
- (c) the disability or other particular needs of the occupants.

- (a) The number of persons accommodated must be calculated according to D1.13 if it cannot be more accurately determined by other means.
- (b) Unless the premises are used predominantly by one sex, sanitary facilities must be provided on the basis of equal numbers of males and females.
- (c) In calculating the number of sanitary facilities to be provided under F2.1 and F2.3, a unisex facility required for people with a disability (other than a facility provided under F2.9) may be counted once for each sex.
- (d) For the purposes of this Part, a unisex facility comprises one closet pan, one washbasin and means for the disposal of sanitary products.

(a) Except where permitted by (b), (c), (f), F2.4(a), F2.4(b) and F2.9(b), separate sanitary facilities for males and females must be provided for Class 3, 5, 6, 7, 8 or 9 buildings in accordance with Table F2.3.

(b) If not more than 10 people are employed, a unisex facility may be provided instead of separate facilities for each sex.

(c) If the majority of employees are of one sex, not more than 2 employees of the other sex

(d) Employees and the public may share the same facilities in a Class 6 and 9b building (other than a school or early childhood centre) provided the number of facilities provided is not less than the total number of facilities required for employees plus those required for the public.

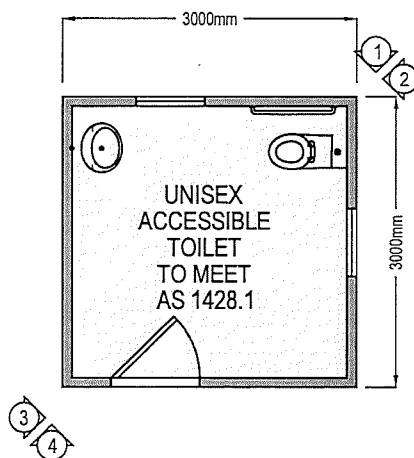
(e) Adequate means of disposal of sanitary products must be provided in sanitary facilities for use by females.

(f) Separate sanitary facilities for males and females need not be provided for patients in a ward area of a Class 9a building.

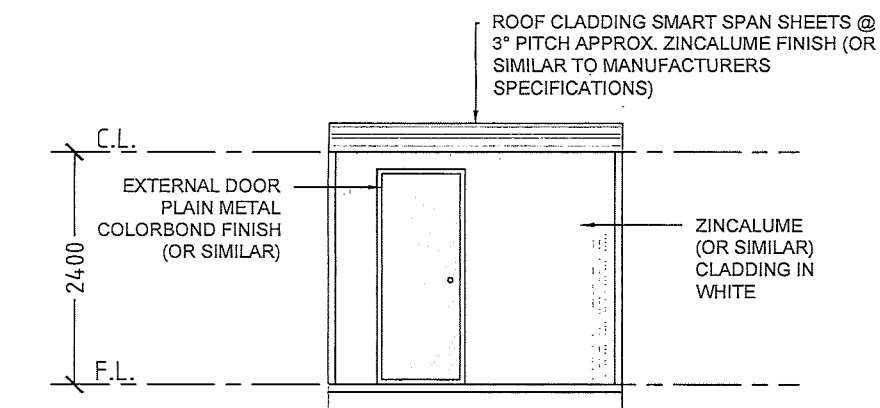
ANTICIPATED STAFFING OF LESS THAN 10 PEOPLE MAXIMUM (MAXIMUM 2 FEMALE).

SINGLE UNISEX ACCESSIBLE SANITARY FACILITY TO BE PROVIDED AT OFFICE LOCATION
TO MEET DEEMED TO SATISFY REQUIREMENTS AS ABOVE.

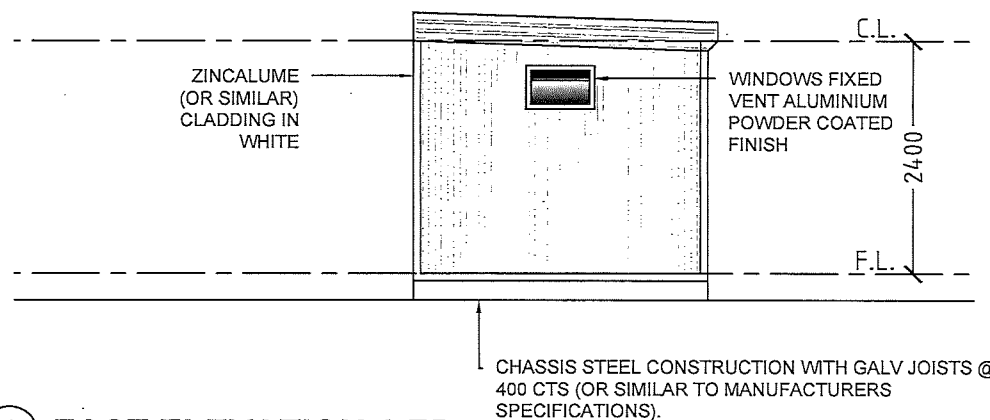
ABLUTION DESIGN, DIMENSIONS AND LAYOUT INDICATIVE ONLY AND SUBJECT TO MANUFACTURERS PLANS AND SPECIFICATIONS.
BUILDINGS TO BE MOUNTED AT GROUND LEVEL WITH 1M WIDE CONCRETE PATHS FOR ACCESSIBILITY. 1 IN 8 RAMP AT DOOR IF REQUIRED IN ACCORDANCE WITH AS 1428.1



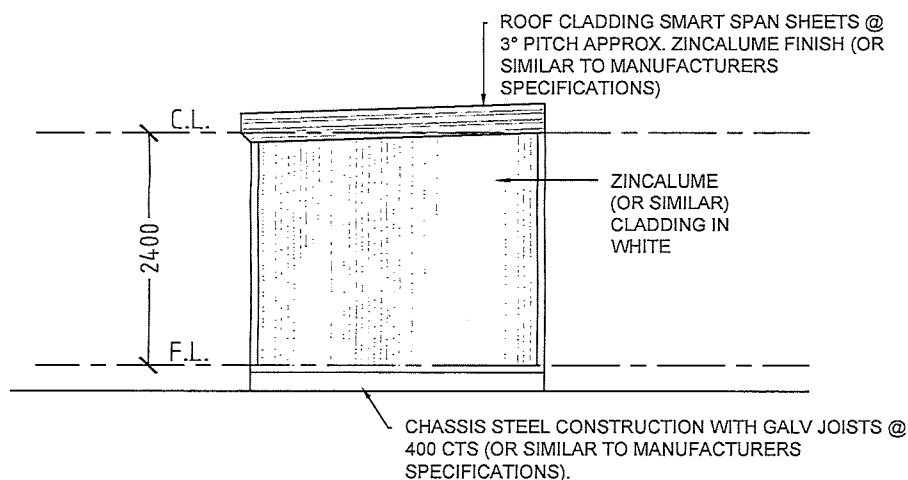
EXTERNAL WALLS ZINCALUME SHEET CLADDING
STEEL FRAME
AREA : 9m²



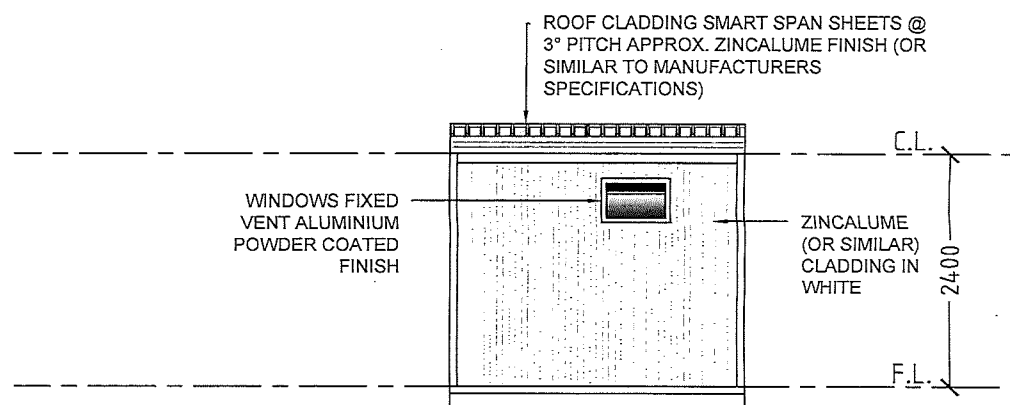
① SOUTH ELEVATION 1:75



② EAST ELEVATION 1:75



3 WEST ELEVATION 1:75



④ NORTH ELEVATION 1:75



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CLIENT: SB & LR DAVIS

| | |
|--------|---|
| TITLE: | RETROSPECTIVE PLANNING APPLICATION TRANSPORT DEPOT "DAVIS LOGISTIC SOLUTIONS" ABLUTION PLAN LOT 23 ON DIAGRAM 26888 (No 535) GERALDTON-MOUNT MAGNET ROAD MOONYOONOOKA |
|--------|---|

CERTIFICATE OF TITLE:
146 / 56A

| | |
|---------------------|------------|
| DATE LAST MODIFIED: | 19/02/2020 |
|---------------------|------------|

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|-----------|-------|----------|
| REV: | DATE: | DETAILS: |
| APPROVED: | | |

| | |
|-----|-----------|
| BY: | APPROVED: |
|-----|-----------|

| | |
|-------|----|
| PLAN- | DI |
|-------|----|

FIGURE 4

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SCALE: 1 : 75

@A3

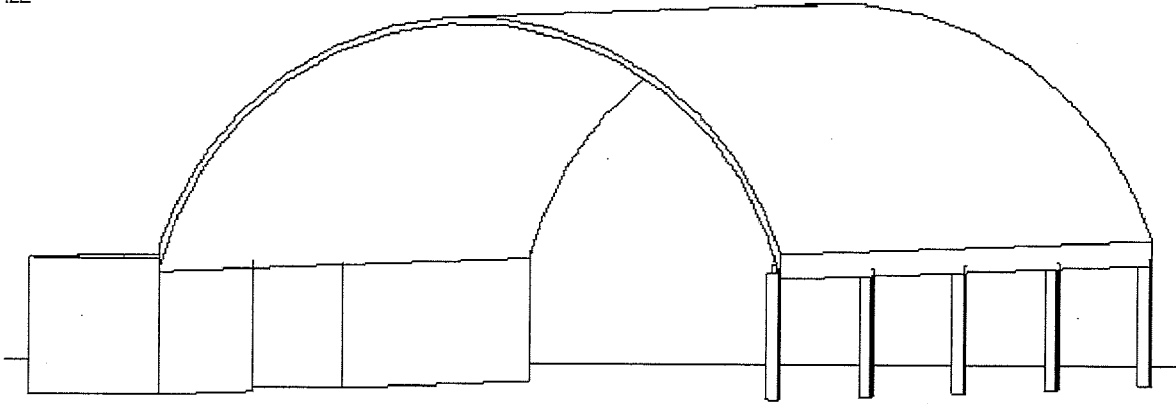
DESIGNED: GMB

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| DRAWN: | DSH |
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| PLAN- | DI |
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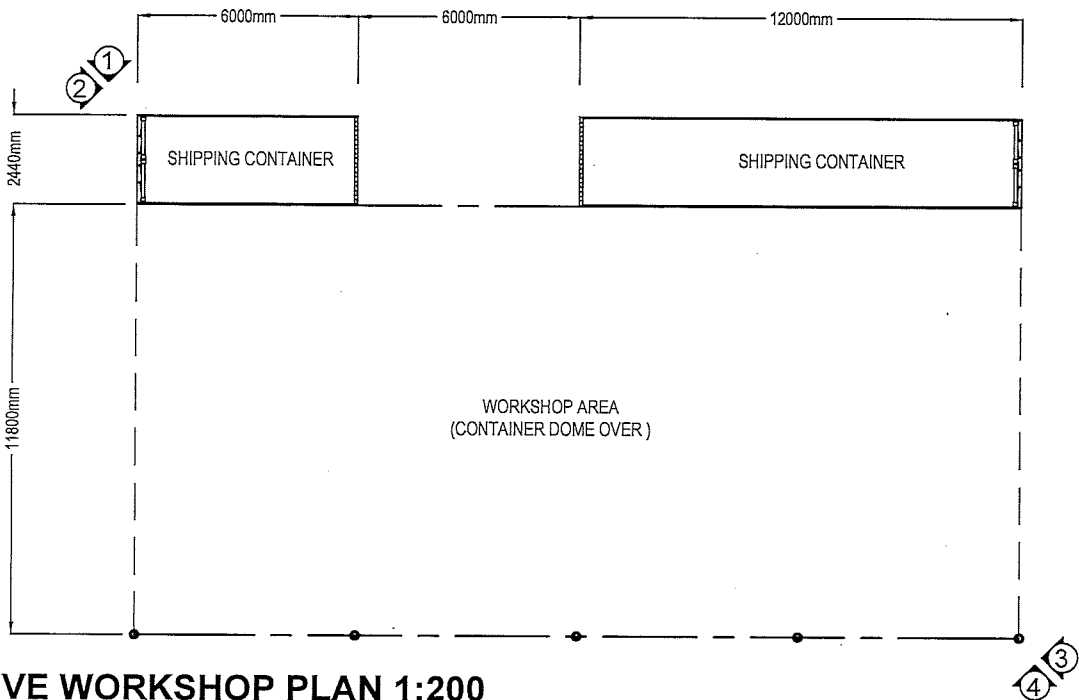
INDICATIVE PERSPECTIVE

NOT TO SCALE



NOTES

- 1. Final position of shipping containers and domes subject to survey. General location indicated on plan (Figure 1).
- 2. FGL subject to site works.
- 3. Shipping containers and Container Domes to be installed according to manufacturers specification.
- 4. Shipping container dimensions and areas indicative only and subject to brand and size acquired.
- 5. Dimensions and information derived from Shelter Assembly Manual as provided.
- 6. Dome to be secured to containers to manufacturers specification. Containers to be tied to concrete piers. Tie down method subject to engineering certification at building permit stage.
- 7. Sea containers all to be rust and damage free. Finished sea container colour: TBA.



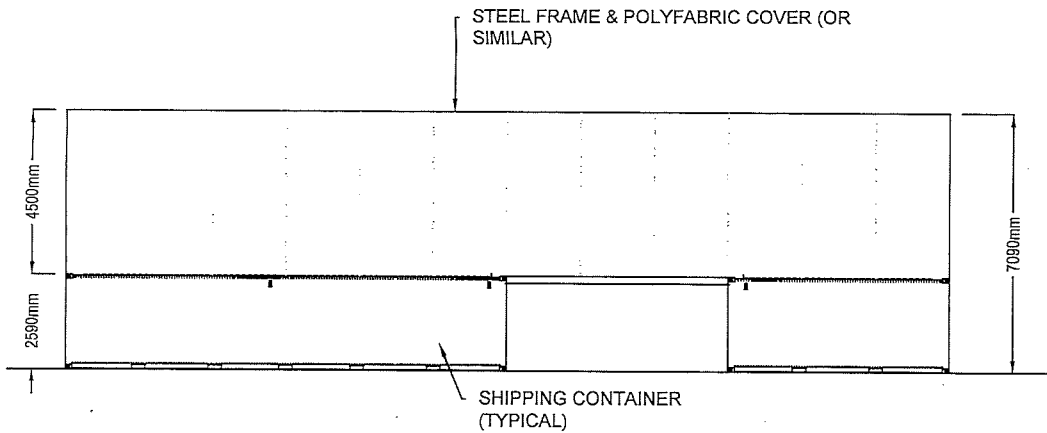
INDICATIVE WORKSHOP PLAN 1:200

EXTERNAL WALLS (SHIPPING CONTAINERS AND POLES) STEEL
DOME - STEEL FRAME WITH POLYFABRIC COVER
AREA : 326m²

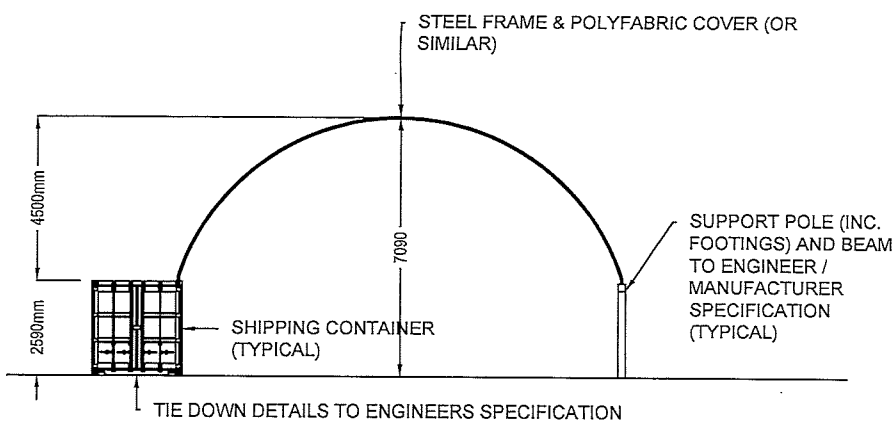
STORMWATER CALCULATIONS

| PROPOSED STRUCTURE | |
|---------------------------------------|--------|
| ROOF AREA - DOME | 283m² |
| ROOF AREA - CONTAINERS | 43m² |
| TOTAL AREA | 326m² |
| VOLUME REQUIRED (326 X 0.9) / 60 = | 4.89m³ |

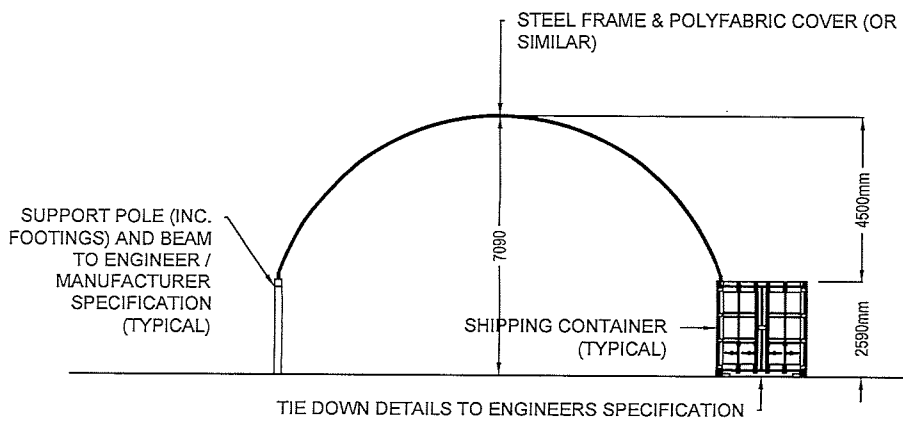
Drainage will be catered for with soak wells. All paved areas to fall toward landscaping. Soak wells to be located minimum 2.0m from all footings. Final location of roof plumbing and soak wells to be determined at detailed design and building phase.



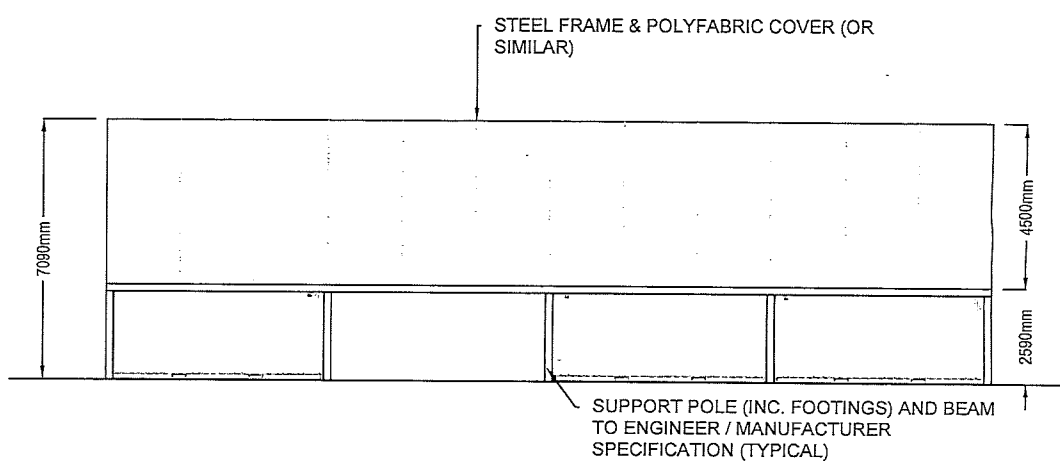
1 NORTH ELEVATION 1:200



2 WEST ELEVATION 1:200



3 EAST ELEVATION 1:200



4 SOUTH ELEVATION 1:200



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TRANSPORT DEPOT "DAVIS LOGISTIC SOLUTIONS"
PROPOSED WORKSHOP PLAN
LOT 23 ON DIAGRAM 26888 (No 535)
GERALDTON-MOUNT MAGNET ROAD, MOONYOONOOKA

CERTIFICATE OF TITLE:
146 / 56A

DATE LAST MODIFIED:
19/02/2020

REV: DATE: DETAILS: BY: APPROVED: PLAN:

DESIGNED: GMB DRAWN: DSH



FIGURE 5

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SCALE: 1 : 200 @A3

* Final design to incorporate business logo.

DAVIS LOGISTIC SOLUTIONS*

TRANSPORT DEPOT

incorporating

DIESEL-PRO MECHANICAL*

PHONE: XXXX XXX XXX

2000mm X 3000mm
5YR UV LAMINATED VINYL
STICKER ON 3mm ALUCOMP
SHEET (OR SIMILAR)
MOUNTED ON ALUMINIUM
POSTS

ALUMINIUM POSTS
OR SIMILAR AS
REQUIRED (TYPICAL)

POSTS TO BE SET IN
CONCRETE FOOTING
(DEPTH AND SIZE AS
REQUIRED)

50mm HEX HEAD
ROOFING SCREW OR SIMILAR
(FIXING LOCATIONS INDICATIVE
ONLY - REFER MANUFACTURERS
INSTRUCTIONS)

POSTS TO BE SET IN
CONCRETE FOOTING
(DEPTH AND SIZE AS
REQUIRED)



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TITLE:
RETROSPECTIVE PLANNING APPLICATION
TRANSPORT DEPOT "DAVIS LOGISTIC SOLUTIONS"
SIGNAGE PLAN LOT 23 ON DIAGRAM 26888 (No 535)
GERALDTON-MOUNT MAGNET ROAD
MOONYOONOOKA

CLIENT:

SB & LR DAVIS

CERTIFICATE OF TITLE:
146 / 56A

DATE LAST MODIFIED:
19/02/2020

REV: DATE: DETAILS:

BY: APPROVED:

Approved:

PLAN:

FIGURE 6

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SCALE:

1 : 25

@A4

Designed: GMB

Drawn: DSH

