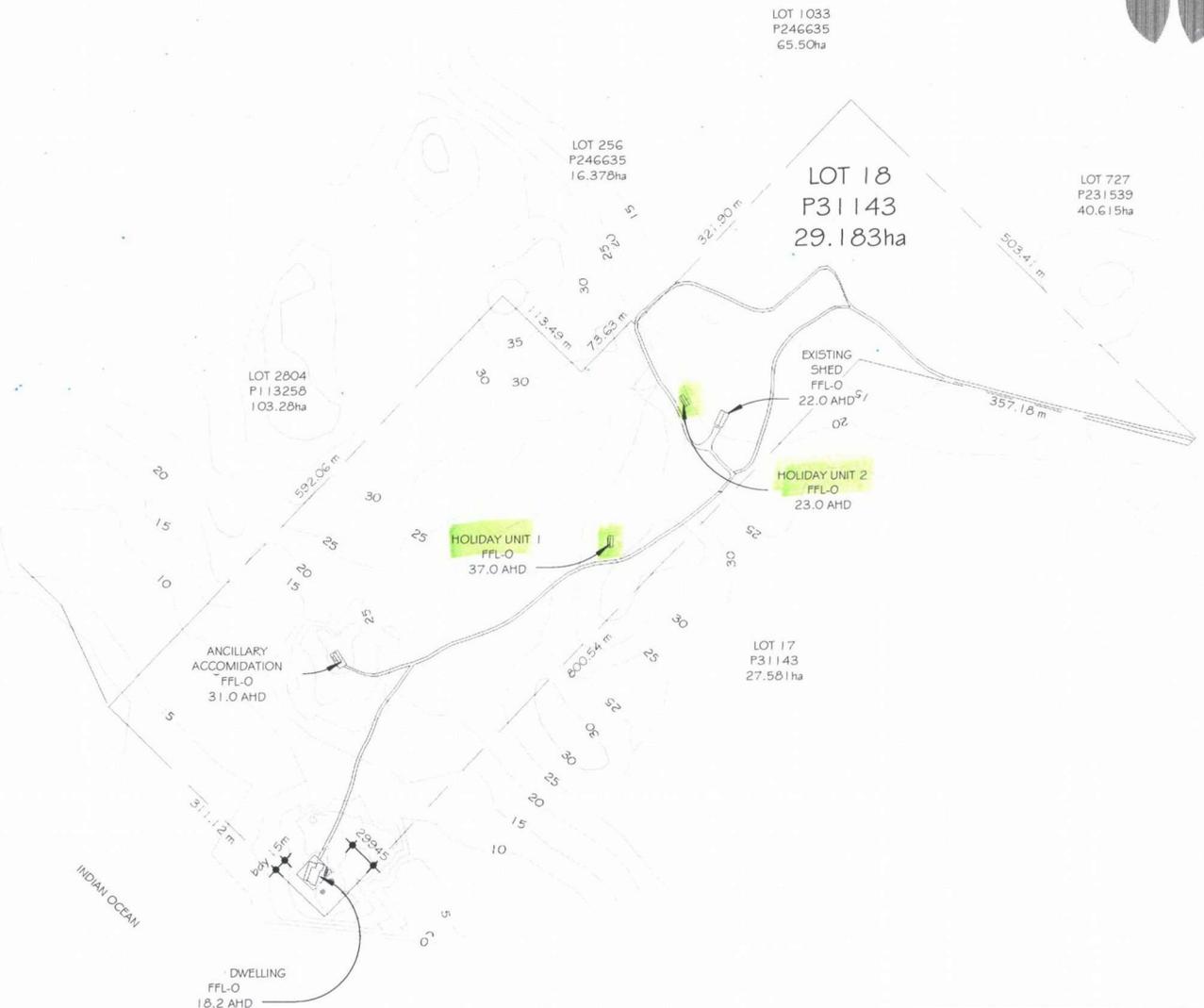


2 LOCATION PLAN
1 : 500



1 SITE PLAN
1 : 5000



PETER GOODE
Eco Building & Design
GERALDTON W.A.

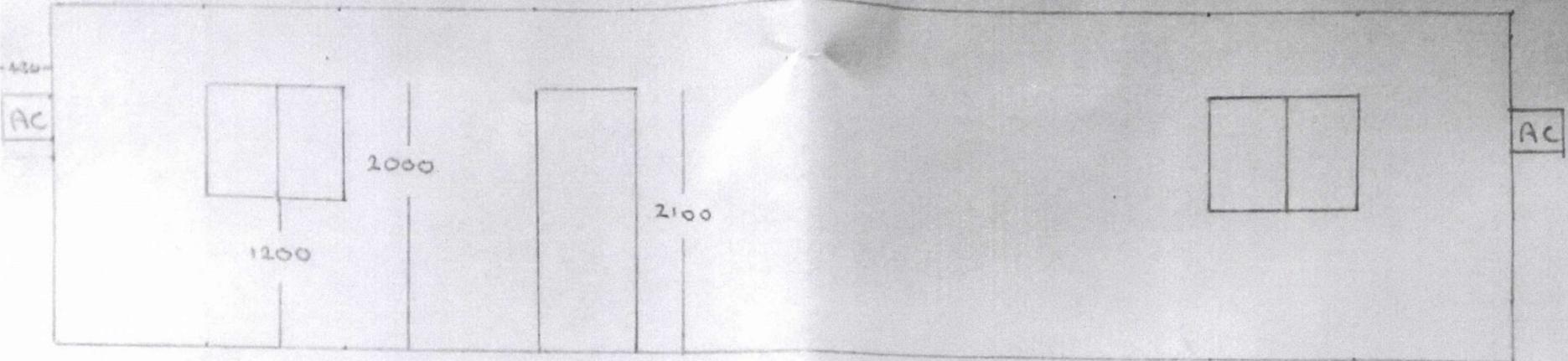
CLIENT: Ian Fisher & Andrea O'Loughlin
LOT 18 - Red Emperor Drive
FLATROCKS, GERALDTON

TITLE: NEW DWELLINGS REV 2

DRAWING No A302 SITE PLAN 14/8/2019

Rev	Date	Revisions
2	14/8/2019	REV 4M
1	12/4/2017	PRELIMINARY PLANS

HOLIDAY HOUSE 1

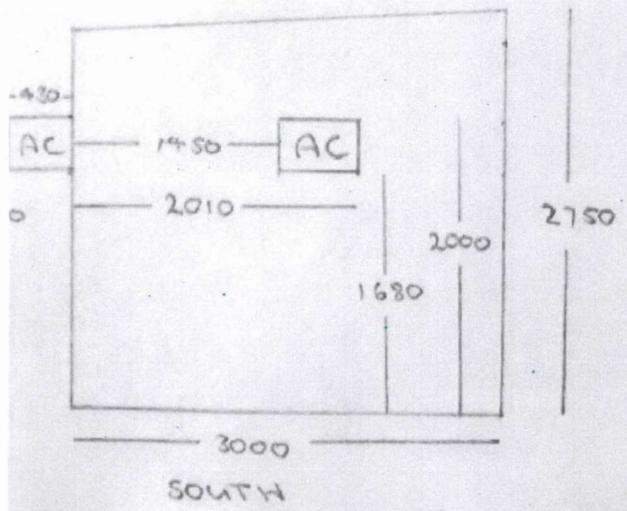


EAST

CITY OF
 GERALDTON-GREENOUGH
 LICEN. No. DATE
 304204 2 SEP 2010
SIGHTED

Elevation Transportable
 413 Red Emperor Dr
 Greenough
 Ian Fisher
 3cm = 1m

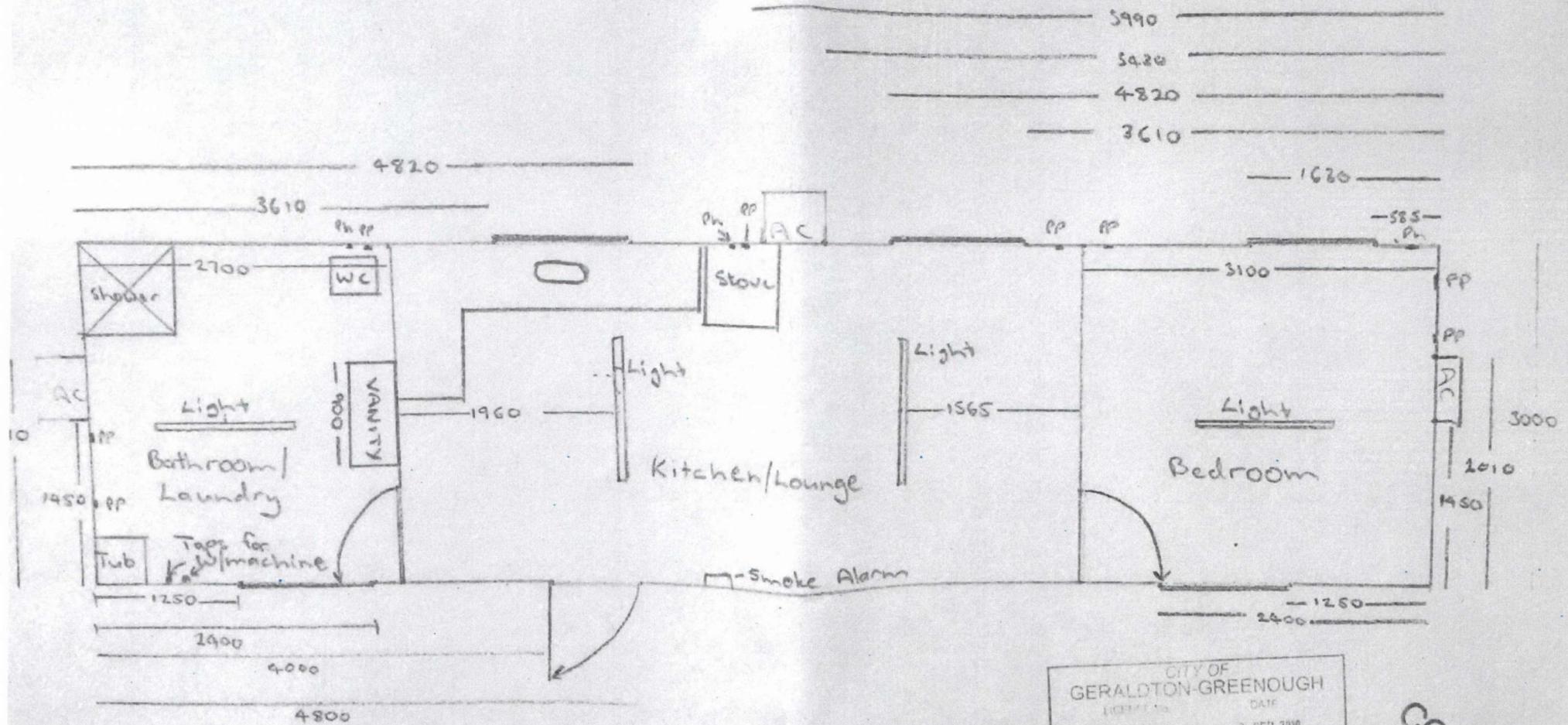
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SOUTH

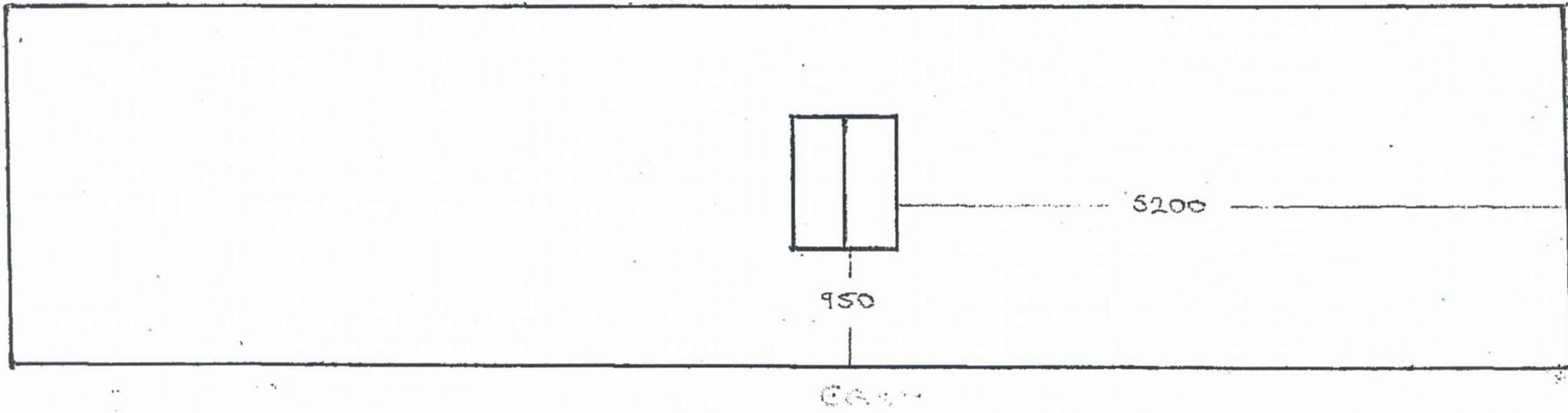
Plan
 413 Red Emperor Drive
 Greenough
 Ian Fisher
 3cm = 1m

HOLIDAY HOUSE 1

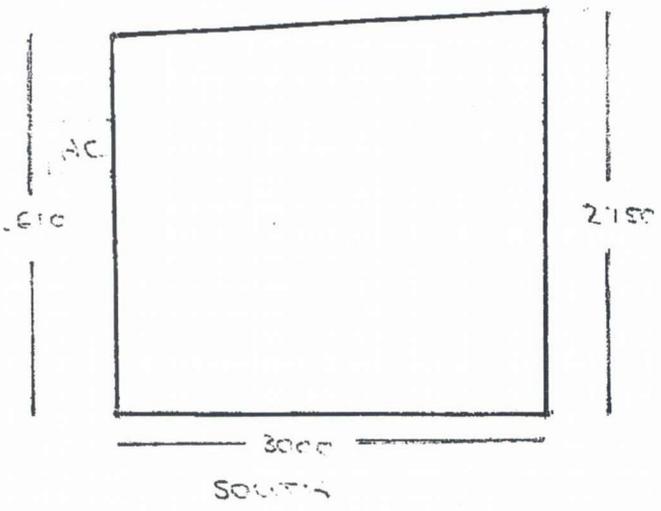


CITY OF
 GERALDTON-GREENOUGH
 LICENCE NO. DATE
 301701 2 SEP 2010
 SIGHTED

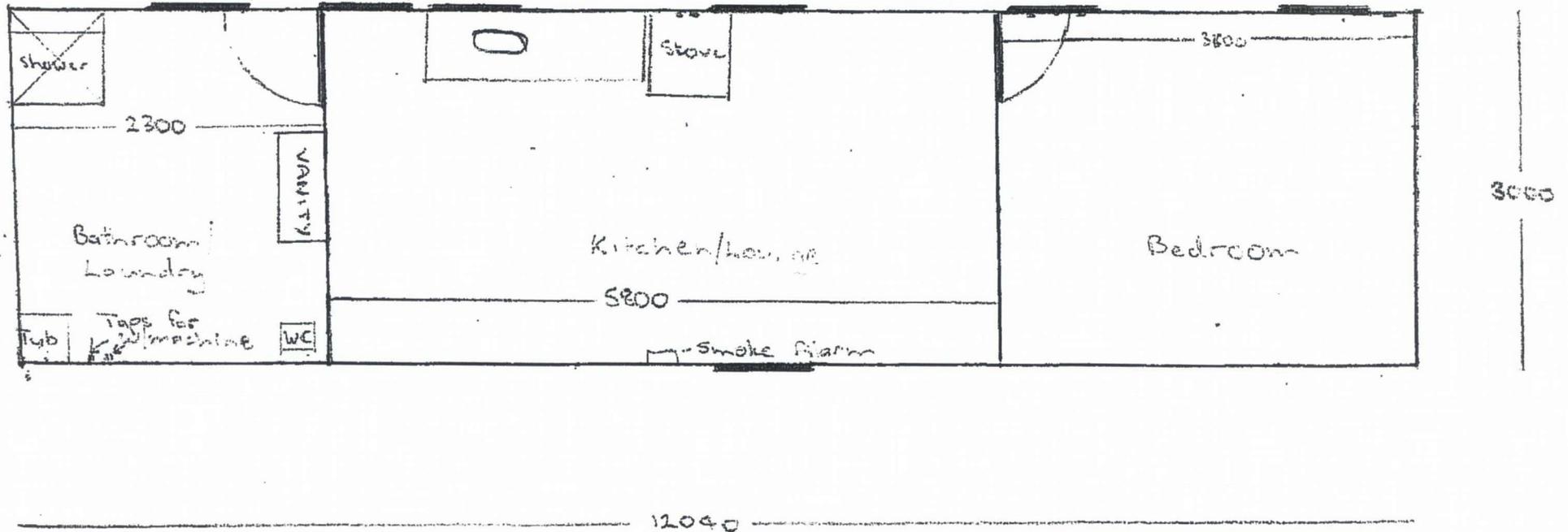
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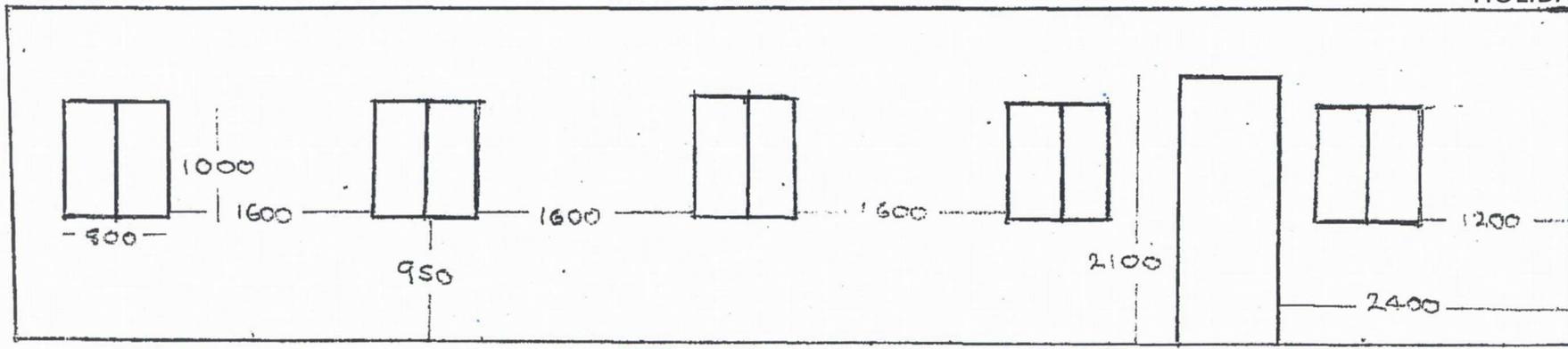
Elevation Transportable
413 Red Emperor Dr
Greenough
Ian Fisher
30m x 1m



Plan of Transportable
413 Red Emperor Drive
Greenough
Ian Fisher
3cm = 1m

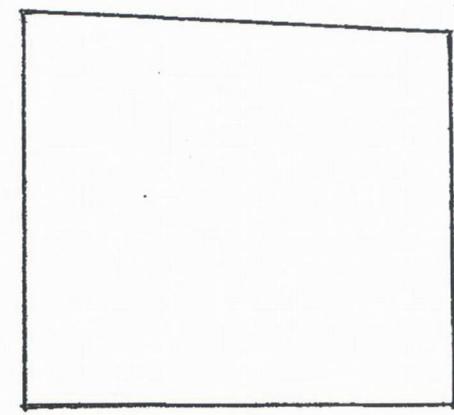


HOLIDAY HOUSE 2



WEST

Elevations of T.
413 Red Empero.
Greenough
Ian Fisher
3cm = 1m



2610

NORTH

4.3 Holiday Accommodation

The application proposed that the existing dwelling and ancillary accommodation buildings upon the property be converted for use as holiday accommodation.

Nothing physically needs to be changed for each of the buildings as they have already been approved and constructed as Class 1A buildings and are connected to water, mains power and effluent disposal systems (septic tank and leach drains).

The buildings are connected to a shared bore water supply for the property which is fed from a tank at the top of a hill and gravity fed by pipes to each building. The bore supplies water to the toilet, shower and outside taps. A rainwater tank with a 4,000 litre capacity is connected to each building and supplies a potable water supply to the kitchens. An additional 1,000 litre water storage cube is to be installed as an overflow collection from the main tanks and to serve as a backup supply should the main water tanks be compromised.

Figure 6: View of holiday house 1



Figure 7: View of Holiday House 2



The presence of the holiday accommodation will be advertised online through websites such as Airbnb and Homeaway. Customers would be met onsite and shown to their accommodation and given a run through of the facilities and emergency evacuation procedures.

Each unit will have a maximum occupancy of 2 people.

The operation and cleaning of the holiday accommodation will be undertaken by the owners who will live onsite initially in the ancillary accommodation whilst the new main residence is being constructed near the oceanfront.

The holiday units have deliberately been constructed simply and unobtrusively to maintain the low key presence of the built form upon the land. The applicants are seeking to attract single or double travellers that wish to stay in a location that is 'untouched' and developed in a way that clearly shows the applicants desire to have a sustainable and ecofriendly development that will go hand in hand with a stay at the property that is uninterrupted by traffic, commercialism and heavy reliance on resources and technology. Stays at this property are deliberately paired back and utilise solar power, second hand materials and simple finishing to encourage relaxation and exploration of the local area.

It is anticipated that these holiday homes would commence operation on approval from the local government.